



KING COUNTY

1200 King County Courthouse
516 Third Avenue
Seattle, WA 98104

Signature Report

Ordinance 19459

Proposed No. 2022-0163.2

Sponsors Dembowski

1 AN ORDINANCE relating to the construction of

2 Northshore Athletic Fields Phase 2 in accordance with the

3 thirty-year use agreement with Northshore Athletic Fields

4 authorized by ordinance 17739, authorizing the King

5 County executive to amend the use agreement to jointly

6 approve construction of Phase 2 and award a \$423,000

7 Community Partnerships Grant to Northshore Athletic

8 Fields.

9 **STATEMENT OF FACTS:**

10 1. King County Ordinance 14509 authorized the department of natural

11 resources and parks to create new public recreation opportunities by

12 empowering user groups, sports associations and community organizations

13 to develop mutually agreed upon capital improvements for public

14 recreation facilities on King County land, and thereby address either or

15 both regional and rural recreation needs without increasing tax-funded

16 operations and maintenance costs.

17 2. In 2013, in accordance with Ordinance 17739, King County and

18 Northshore Athletic Fields, a Washington state nonprofit corporation,

19 entered into a thirty-year use agreement for the continued use of the

Ordinance 19459

20 athletic field complex at the Northshore Athletic Fields, as well as,
21 mutually agreed upon site improvements.

22 3. Phase 1 of the site improvements included the conversion of two
23 baseball infields to synthetic turf, a new restroom, plaza area and related
24 infrastructure. Those improvements were completed in 2016.

25 4. Phase 2 of the site improvements, include the conversion of a third
26 baseball infield to synthetic turf, a new playground and related
27 infrastructure.

28 5. The parks and recreation division of the department of natural
29 resources and parks is proposing a \$423,000 community partnership grant
30 be awarded to the Northshore Athletic Fields towards Phase 2
31 improvements from moneys already appropriated for grant purposes.

32 6. The thirty-year agreement must be amended to approve Phase 2 and
33 award grant moneys.

34 BE IT ORDAINED BY THE COUNCIL OF KING COUNTY:

35 SECTION 1. The King County executive is hereby authorized to execute an
36 amendment to the thirty-year use agreement with Northshore Athletic Fields, authorized
37 by Ordinance 17739, substantially in the form of Attachment A to this ordinance. The

Ordinance 19459

38 executive may execute such other documents that are necessary or convenient to carry
39 out the purposes of this ordinance.

Ordinance 19459 was introduced on 4/19/2022 and passed by the Metropolitan King County Council on 6/28/2022, by the following vote:

Yes: 9 - Balducci, Dembowski, Dunn, Kohl-Welles, Perry, McDermott, Upthegrove, von Reichbauer and Zahilay

KING COUNTY COUNCIL
KING COUNTY, WASHINGTON

DocuSigned by:

7E1C273CE9994B6...
Claudia Balducci, Chair

ATTEST:

DocuSigned by:

92FC09E4162E45A...
Melani Pedroza, Clerk of the Council

APPROVED this _____ day of 7/14/2022, _____.

DocuSigned by:

4FBCAB8196AE4C6...
Dow Constantine, County Executive

Attachments: A. First Amendment to Use Agreement for the Athletic Field Complex Located at Northshore Athletic Fields Property, dated May 31 2022

**FIRST AMENDMENT TO USE AGREEMENT
FOR THE ATHLETIC FIELD COMPLEX LOCATED AT
NORTHSHORE ATHLETIC FIELDS PROPERTY**

RECITALS

- A. In 2013, King County, a home rule charter county and political subdivision of the State of Washington ("the County"), and Northshore Athletic Fields (NAF) a not-for-profit, tax-exempt 501(c)(3) corporation organized under the laws of the State of Washington entered into a 30 year Use Agreement (the "Agreement") pursuant to Ordinance 17739 to develop, operate, use, and maintain an athletic field complex (the "Complex"), located at the Northshore Athletic Fields property in King County, Washington, ("the Site") as a recreational facility for the benefit and use of the public.
- B. Section 4.2 of the Agreement references the Master Plan for the Complex (Exhibit B), which includes a proposed list of capital improvements to the Site which will be completed in the near-term and in the future as funding becomes available, and the process for King County approval of improvements at the Site. Exhibit C to the Agreement includes the proposed schedule and sequence of capital improvements at the Site.
- C. Pursuant to Section 4.2 King County has reviewed and approved additional improvements proposed by NAF which include the conversion of a third baseball infield to synthetic turf, a new playground, and related infrastructure collectively referred to as Phase 2.
- D. King County and NAF wish to amend Exhibit B and Exhibit C of the Agreement to reflect the additional Phase 2 improvements approved by King County.
- E. In addition, King County wishes to award NAF a \$423,000 grant from the Community Partnerships and Grant Program (CPG) towards the construction of Phase 2.

NOW, THEREFORE, pursuant to Section 8.16 of the Agreement, King County and NAF agree to amend the Agreement as follows::

1. Sections 4.2.2; 4.3; and 8.17 are deleted in their entirety and replaced by the following.

4.2.2 Project Plan. NAF contemplates making the improvements specified in Exhibit B to this Agreement according to the schedule and sequence set forth in Exhibit C to this Agreement. NAF shall present a "Project Plan" to King County before making any material alteration to any part of the Site or the Complex, such as those improvements listed in Exhibit B, including any substantial change to the landscaping. Each Project Plan shall describe the planning process with a timeline and milestones; describe the principal features of the proposed improvement; provide conceptual design drawings, if applicable; describe in reasonable detail and rationale the goals and objectives of the improvement; identify the party primarily responsible for supervising the project; and provide a schedule showing the sources and timing of funding for the project. The Division shall review the Project Plan for the Complex in concept and reserves the right to approve the final design of improvements to the Complex, consistent with established King County zoning, design code, or both. Division approval shall not constitute regulatory approval by King County. Work shall not begin on any particular project without first obtaining prior written approval of the Project Plan by the Division. This right of review and approval is in addition to and separate from any permits or other process that may be required by law.

4.3 Grant Award. The Division will provide a Community Partnership Grant (CPG) to NAF in the amount of \$423,000. These moneys shall be applied towards the permitting and capital cost to construct

Phase 2 of the Facility at the Site per Exhibit B and Exhibit C. With the exception of any other King County grants that may independently be awarded to NAF, King County will be under no obligation, directly or indirectly, to pay for any labor, material, or improvement associated with the Complex in excess of the \$423,000 capital outlined above.

8.17 *Approved Exhibits.* The following exhibits are attached to this Agreement:

- (A) Illustration of the Site, the Common Areas, and the Complex;
- (B) NAF'S Master Plan and Proposed List of Capital Improvements dated 5/31/22;
- (C) Schedule (NAF's Proposed Timing and Sequence of Capital Improvements) dated 5/31/22;
- (D) King County Code 7.12;
- (E) IAC Project Agreement No. 66-025;
- (F) Division's Advertising and Sponsorship Policy, PAR 1-18

2. Exhibit B is deleted in its entirety and replaced by the following new Exhibit B:

EXHIBIT – B

NAF’s Master Plan and Proposed List of Capital Improvements

IMPROVEMENT PROJECT	BUDGET
<p>Restroom/Concession Building (sample drawing; CXT Precast Products)</p>	<p>\$250,000</p>
<p>Batting Cages (sample image represents a dual bullpen, 80’ x 30’ structure)</p>	<p>\$20,000</p>

EXHIBIT – B

Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)

<p>Maintenance Building</p>	<p>\$25,000</p>
<p>Electrical (upgrade to code)</p>	<p>\$15,000</p>
<p>Picnic Area & Kids Play Structure</p>	<p>\$50,000</p>
<p>Field—1 Bleachers</p>	<p>\$15,000</p>
<p>Walkway / Accessibility</p>	<p>\$50,000</p>
<p>Entry</p>	<p>\$15,000</p>
<p>Infield Turf and/or Fencing / Backstops / Netting</p>	<p>\$350,000 \$100,000</p>

NORTHSHORE ATHLETIC FIELDS RENOVATION

WOODINVILLE, WASHINGTON

GRADING PERMIT SET

PROJECT 2018-06

LANDSCAPE ARCHITECT:

SANDERSON STEWART
 CONTACT: ERIK J. SWEET, ASLA, RLA
 1300 N Transtech Way, Billings, MT, 59102
 P(406) 869-3344
 C (425) 766-9535

CIVIL ENGINEER:

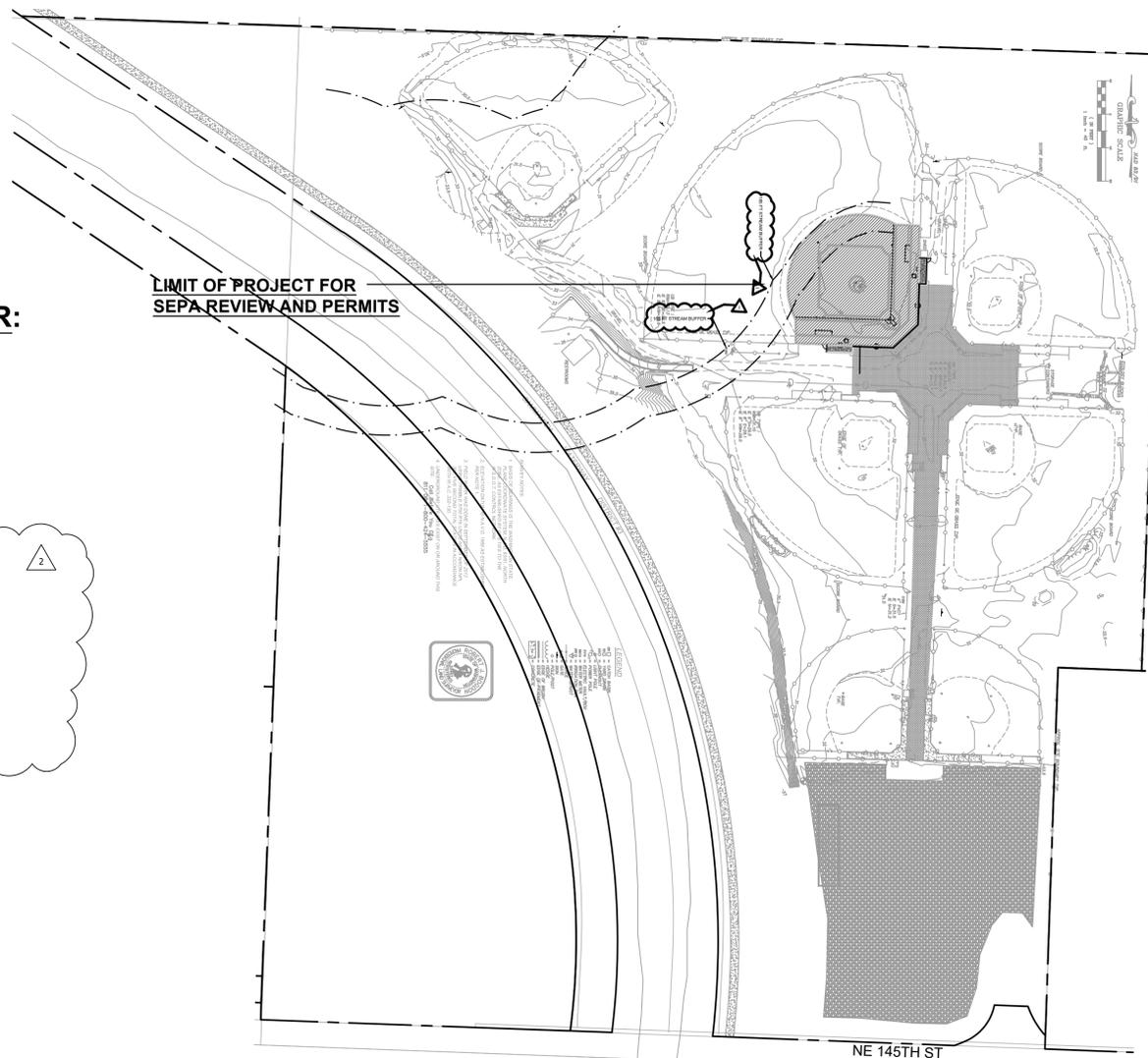
DAVID EVANS & ASSOCIATES
 CONTACT: Robert Jefferson, P.E.
 2106 Pacific Ave, Suite 400
 Tacoma, WA 98402
 P (253)250-0634

GEOTECHNICAL ENGINEER:

ASSOCIATED EARTH SCIENCES
 CONTACT: MATT MILLER
 911 5th Ave.
 Kirkland, WA 98033
 P(425) 827-7701
 F(425) 827-5424

STRUCTURAL ENGINEER:

LYVER ENGINEERING AND DESIGN, LLC
 CONTACT: TROY D. LYVER, PE/SE
 7950 SE 106th Ave,
 Portland, OR 97266
 P(503) 705-5283



DRAWING INDEX:

- G1 COVER SHEET
- G2 ADJOINING PARCELS
- S1 STRUCTURAL NOTES
- EX1 EXISTING CONDITIONS
- L0 OVERALL SITE PLAN
- L1 DEMOLITION PLAN
- L2 GRADING PLAN
- L3 FIELD DRAINAGE PLAN
- L4 SURFACE LAYOUT PLAN
- L5 FIELD DETAILS
- L6 FIELD DETAILS
- L7 FIELD DETAILS
- C1.0 TESC & DEMOLITION PLAN
- C1.1 TESC NOTES & DETAILS
- C2.0 STORM DRAINAGE PLAN
- C3.0 NOTES & DETAILS

PARCEL NO : 152605-9070

LEGAL DESCRIPTION:

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SMMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF&CONCENTRIC TO ELY LN OF SMMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SMMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595

Site Plan Approval
 Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.
 Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.
 Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

PRO RATA SHARE ASSESSMENT ANALYSIS
 (County Use Only)

Section	Township	Range	Tax Parcel	Number

Site Location is within the _____ drainage shed(s)
 Pro Rata Share Assessment(s) are: Required Not Required from the site due to development for increased storm water runoff.
 Peak Runoff Assessment Rate(\$ _____) per c.f.s. increases.(10 year, 2 hour storm)
 Peak Volume Assessment Rate(\$ _____) per Ac. Ft. increases.(2 year, 2 hour storm)

AGREEMENTS, PLAN REFERENCES, PERMITS ETC. (To be completed by Consultant)

Preliminary Plat Approval/Permit Issued Date: _____
Expiration Date: _____
Other Related Permit Numbers Received:
 Right-of-Way Use Permit _____
 Grading _____
 Building/Structural _____
 Other _____
Board feet of tree removal on site: _____
Cubic yards of material hauled on/off the site: _____
Is this a highly sensitive area site? (Yes/No): _____
 Note: If "yes", per SWDM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.

Emergency 911
 Police-Fire-Rescue

RECOMMENDED FOR APPROVAL (To be completed by King County)

Date _____
Review Engineer _____
Senior Engineer _____
Traffic & Planning Engineer _____
Sensitive Areas _____
Structural Review Engineer _____
Other _____

King County
 APPROVED FOR CONSTRUCTION
 DEPARTMENT OF DEVELOPMENT & ENVIRONMENTAL SERVICES
 Date _____ Molly A. Johnson, P.E.
 Development Engineer

**PROJECT CONTACT INFORMATION
 (To be completed by Consultant)**
 Northshore Athletic Fields
 Name _____ Phone _____
 12900 NE 180th Street, Bothell, WA 98011
 Address and Zip Code _____

Ownership
 King County - Parks and Recreation Division
 Name _____ Phone _____
 201 S Jackson St, Seattle, WA 98077
 Address and Zip Code _____

Certified Surveyor or Engineer
 SANDERSON STEWART
 Erik J. Sweet, ASLA, RLA
 Name _____ Phone _____
 1300 N Transtech Way, Billings, MT 59102
 Address and Zip Code _____

Notice Required
 Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency conditions as required.
 _____ Phone _____
Sanitary Sewer _____
Water District _____
Gas Company _____
Power Company _____
 Call Before You Dig DIAL-A-DIG 1-800-424-5555

Notes
 1. The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-8842, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
 A. Installing siltation and erosion control measures
 B. Clearing and grubbing
 C. Earthwork
 D. Installation of any underground utility
 E. Before placing subbase, base or paving surfaces
 F. Installation of any forms or placing any concrete
 2. A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
 3. A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

Bonding Information
 Restoration Bond Amount \$ _____



PERMIT RESUBMITTAL 2-18-2022



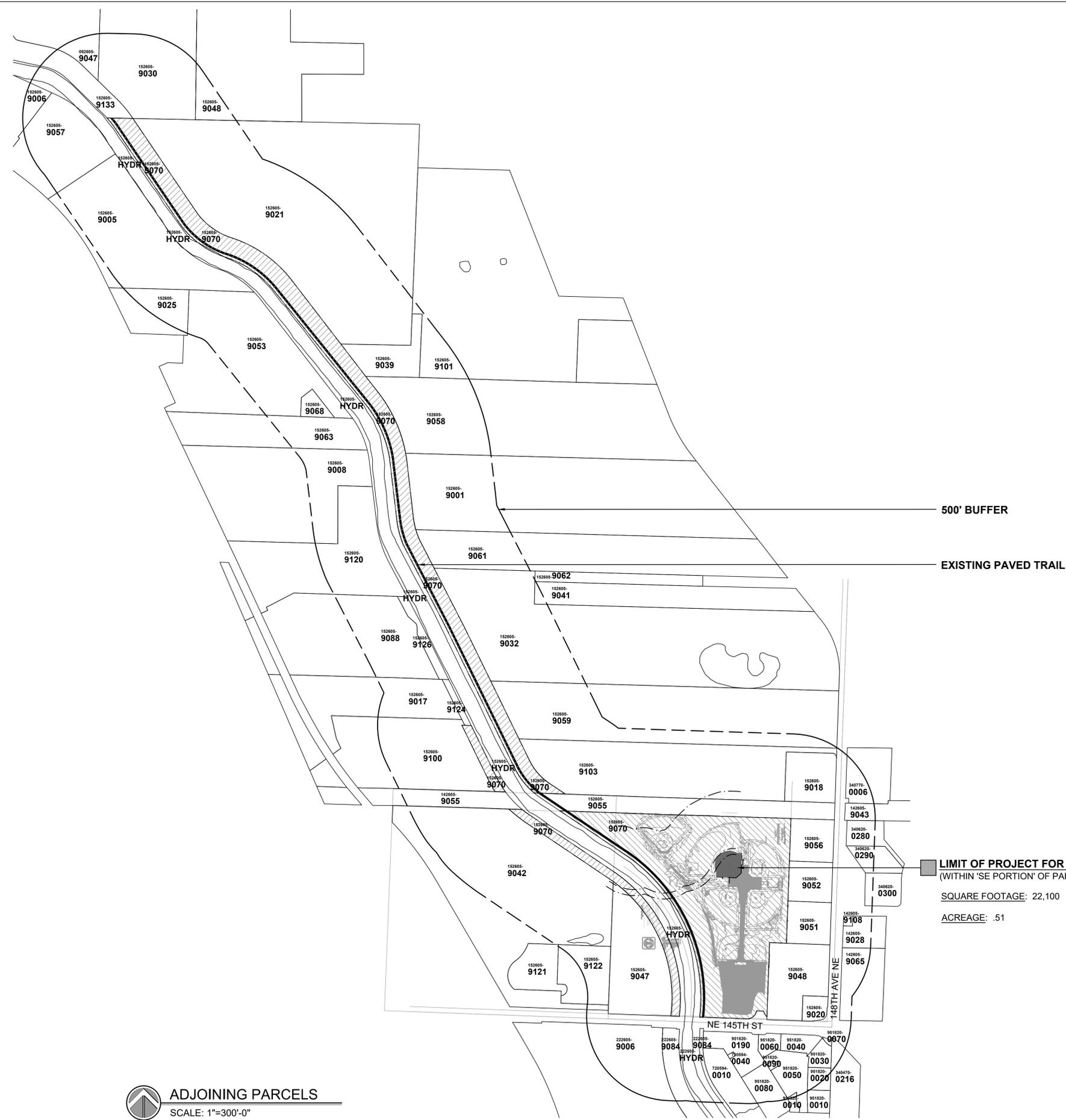
NORTHSHORE ATHLETIC FIELDS
 FIELD RENOVATIONS
 NORTHSHORE ATHLETIC FIELDS CORPORATION
 14735 NE 145TH ST WOODINVILLE, WA 98072

SANDERSON STEWART
 Enduring Community Design

Drawing:
 COVER SHEET

Date: 06/02/2020
 Job #: 20025
 Scale: 1"=100'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions: _____
 PERMIT SET REVISIONS

Sheet:
G1



500' BUFFER

EXISTING PAVED TRAIL

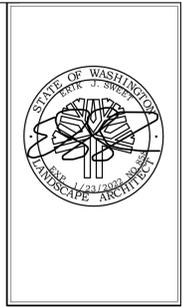
LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS
(WITHIN 'SE PORTION' OF PARCEL 152605-9070)

SQUARE FOOTAGE: 22,100

ACREAGE: .51

ADJOINING PARCELS
SCALE: 1"=300'-0"

CALL BEFORE YOU DIG
Call: TOLL FREE
1-800-424-5555



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**ADJOINING
PARCELS**

Date: 06/05/2020
Job #: 20025
Scale: 1"=300'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

Sheet:
G2



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



PROJECT STRUCTURAL NOTES

GENERAL INFORMATION:

1. THE CONTROLLING DESIGN CODE IS THE 2018 IBC WITH CURRENT STATE OF WASHINGTON AMENDMENTS..
2. THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
 - A. SOIL DESIGN VALUES: ASSOCIATED EARTH SCIENCES, DATED SEPTEMBER 15, 2014 AND REVISED FEBRUARY 9, 2022) - PROJECT #20140453E001.
 - ALLOWABLE BEARING: 1500 PSF WITH $\frac{1}{4}$ INC FOR WL/EQ
 - PASSIVE PRESSURE: 150 PCF WITH $\frac{1}{4}$ INC FOR WL/EQ
 - B. WIND LOAD: 100 MPH EXPOSURE B (130 MPH ULTIMATE) (USE 25% OF SURFACE AREA OF NETTING w/ GLAZE ICE BUILD UP)
 - C. SEISMIC LOAD: SITE CLASSIFICATION 'D'
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
4. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW OF A.O.R. AND E.O.R.

SPECIAL INSPECTION:

1. SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED PER IBC CHAPTER 17.
2. SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
 - A. REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION.
 - B. MASONRY OPERATIONS SHALL BE INSPECTED PER CHAPTER 17 AND LOCAL JURISDICTION.
 - C. CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 YARDS OF CONCRETE POURED, OR FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 YEAR FOR CONTROL.
 - D. ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, ENGINEER, AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF PROJECT COMPLETION.

FOUNDATIONS:

1. FENCE POSTS TO BE EMBEDDED IN CONCRETE PIERS.

REINFORCING STEEL:

1. REINFORCING IS NOT REQUIRED FOR THESE FOUNDATIONS. IF REINFORCING IS ADDED, THEN ALL INSTALLATION AND USE SHALL BE GOVERNED BY THE CURRENT EDITION OF ACI 318.

CONCRETE:

1. ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL EXPOSED CONCRETE TO HAVE 5% +/- 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.

FRAMING LUMBER:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH AND SHALL BE GRADED UNDER THE MOST RECENTLY ADOPTED RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB).
2. ALL BEAMS AND JOISTS SHALL BE NUMBER 2 (UNLESS NOTED OTHERWISE).
3. ALL STUDS AND BLOCKING SHALL BE NUMBER 2.
4. ALL LUMBER IN CONTACT WITH CONCRETE OR EXPOSED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP STANDARD C-2 AND SHALL BEAR THE AWP QUALITY MARK. FIELD CUTS, NOTCHES AND DRILLED HOLES OF PRESSURE TREATED MEMBERS SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWP M4
5. ALL FRAMING CONNECTIONS TO BE MADE WITH SIMPSON FRAMING HARDWARE. COORDINATE SELECTION W/ ENGINEER PRIOR TO CONSTRUCTION. FASTENERS FOR PRESSURE OR FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

PLYWOOD SHEATHING:

1. ALL PLYWOOD SHALL BE C-D GRADE WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH THE UNITED STATES PRODUCT STANDARD PS 1-83/ANSI A199.1 "FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" AND SHALL CONFORM TO UBC STANDARD 23-2 AND SHALL BEAR THE APA TRADEMARK OF THE APA.
2. PLYWOOD SHALL BE LAID WITH END JOINTS STAGGERED.
3. BLOCK ALL SHEAR WALL SHEATHING WITH 2X BLOCKING AT ALL EDGES.
4. ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED.
5. OSB MAY BE SUBSTITUTED FOR PLYWOOD WITH SAME SPAN RATING.

TIMBER FASTENERS:

1. ALL TIMBER MATERIAL SHALL BE FASTENED PER IBC TABLE 2304.9.1, "FASTENING SCHEDULE" U.N.O.

STRUCTURAL STEEL AND MISCELLANEOUS IRON:

STRUCTURAL STEEL SHALL BE:

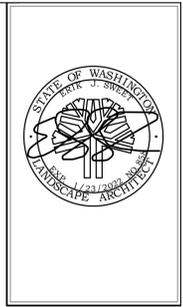
- ASTM A500, GRADE B (Fy=42 KSI) HOLLOW STRUCTURAL SECTIONS (PIPES)
 - OPTIONAL FENCE PIPE SS40 PER MANUFACTURER SPECIFICATIONS
1. DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WITH "COMMENTARY" AND THE "CODE OF STANDARD PRACTICE", WITH EXCEPTIONS NOTED IN SPECIFICATIONS.
 2. DRAWINGS ARE DIMENSIONED FOR LAYOUT AND NOT DIMENSIONED PER AISC STANDARDS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL DRAWINGS AND DEVELOP SHOP DRAWINGS WITH DETAIL AND DIMENSIONING PER AISC.
 3. ALL FABRICATION, ERECTION, IDENTIFICATION, AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
 4. ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE, OR AS DENOTED ON PLANS SHALL BE HOT DIP GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
 5. ALL WELDING SHALL CONFORM TO AWS (LATEST EDITION) SPECIFICATIONS.
 - A. ALL WELDERS TO BE QUALIFIED UNDER AWS SPECIFICATIONS WITHIN THE PAST TWO YEARS FOR THE TYPE OF WELDING PERFORMED.
 - B. ALL WELDS SHALL BE PERFORMED USING PRE-QUALIFIED WELDING PROCEDURES.
 - C. WELDS FILLER METAL SHALL BE AWS A5.1 OR A5.5 E70XX ELECTRODES OR AWS A5.18 ER70S-X.
 - D. AFTER FABRICATION, BUT BEFORE INSTALLATION, REMOVE RUST, SCALE, GREASE, AND OIL BY WIRE BRUSHING AND CHEMICAL TREATMENT.
 - E. WELDING OF REINFORCING STEEL SHALL BE AS SPECIFIED IN THESE STRUCTURAL NOTES UNDER "CONCRETE REINFORCING STEEL".
 6. ALL HIGH-STRENGTH BOLTS, MATERIAL AND INSTALLATION, SHALL CONFORM WITH ASTM STANDARDS.
 - A. BOLTS SHALL CONFORM WITH ASTM A 325, TYPE N. BOLTS NOT NOTED IN THE DRAWINGS AS TYPE SC SHALL BE TYPE N
 - B. FOR BEARING-TYPE CONNECTIONS, TYPE N, BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION, ONLY.
 - E. ALL HIGH-STRENGTH BOLTS SHALL BE INSTALLED WITH HARDENED WASHERS, CONFORMING WITH ASTM F 436, AND NUTS, CONFORMING WITH ASTM A 563.
 - F. ALL BOLTS REQUIRING GALVANIZATION SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS C.
 - G. NO WELDING TO HIGH-STRENGTH BOLTS IS ALLOWED.
 7. ALL MEMBERS SHALL BE CONNECTED WITH SEMI-FINISHED MACHINE BOLTS, UNLESS NOTED OTHERWISE ON PLANS. MACHINE BOLTS SHALL CONFORM TO ASTM A 307, GRADE A.
 8. BOLT HEADS OR NUTS BEARING ON SLOPING FLANGES SHALL BE EQUIPPED WITH BEVELED WASHERS.
 9. ERECTION AIDS (SUCH AS BOLTS, CLIPS, SHIMS, SEATS OR ANY OTHERS REQUIRED TO FACILITATE CONSTRUCTION) ARE THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN AND PROVIDE.
 10. ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF NINETY-FOUR PERCENT (94%) ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 8 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSION PRODUCTS.

Drawn:
COVER SHEET

Date: 06/02/2020
 Job #: 20025
 Scale: 1"=100'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions:

PERMIT SET REVISIONS

Sheet:
S1



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

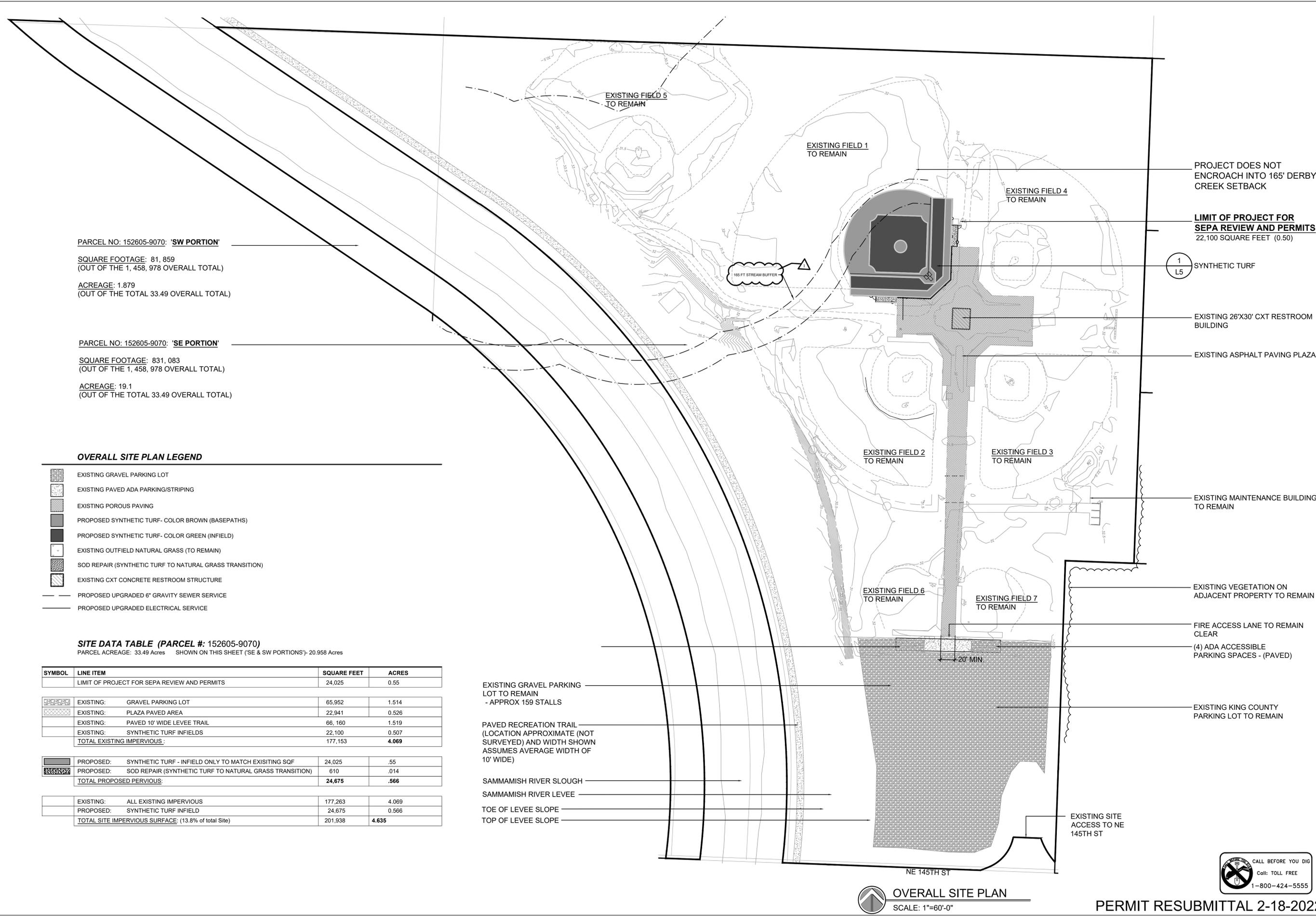


Drawing:
**OVERALL
SITE PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=40'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

Sheet:
LO



PARCEL NO: 152605-9070: 'SW PORTION'
SQUARE FOOTAGE: 81, 859
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 1.879
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

PARCEL NO: 152605-9070: 'SE PORTION'
SQUARE FOOTAGE: 831, 083
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 19.1
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

OVERALL SITE PLAN LEGEND

- EXISTING GRAVEL PARKING LOT
- EXISTING PAVED ADA PARKING/STRIPING
- EXISTING POROUS PAVING
- PROPOSED SYNTHETIC TURF- COLOR BROWN (BASEPATHS)
- PROPOSED SYNTHETIC TURF- COLOR GREEN (INFIELD)
- EXISTING OUTFIELD NATURAL GRASS (TO REMAIN)
- SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)
- EXISTING CXT CONCRETE RESTROOM STRUCTURE
- PROPOSED UPGRADED 6" GRAVITY SEWER SERVICE
- PROPOSED UPGRADED ELECTRICAL SERVICE

SITE DATA TABLE (PARCEL #: 152605-9070)

PARCEL ACREAGE: 33.49 Acres SHOWN ON THIS SHEET ('SE & SW PORTIONS')- 20.958 Acres

SYMBOL	LINE ITEM	SQUARE FEET	ACRES
	LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS	24,025	0.55
	EXISTING: GRAVEL PARKING LOT	65,952	1.514
	EXISTING: PLAZA PAVED AREA	22,941	0.526
	EXISTING: PAVED 10' WIDE LEVEE TRAIL	66,160	1.519
	EXISTING: SYNTHETIC TURF INFIELDS	22,100	0.507
	TOTAL EXISTING IMPERVIOUS:	177,153	4.069
	PROPOSED: SYNTHETIC TURF - INFIELD ONLY TO MATCH EXISTING SQF	24,025	.55
	PROPOSED: SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)	610	.014
	TOTAL PROPOSED PERVIOUS:	24,675	.566
	EXISTING: ALL EXISTING IMPERVIOUS	177,263	4.069
	PROPOSED: SYNTHETIC TURF INFIELD	24,675	0.566
	TOTAL SITE IMPERVIOUS SURFACE: (13.8% of total Site)	201,938	4.635

EXISTING GRAVEL PARKING LOT TO REMAIN - APPROX 159 STALLS

PAVED RECREATION TRAIL (LOCATION APPROXIMATE (NOT SURVEYED) AND WIDTH SHOWN ASSUMES AVERAGE WIDTH OF 10' WIDE)

SAMMAMISH RIVER SLOUGH
SAMMAMISH RIVER LEVEE
TOE OF LEVEE SLOPE
TOP OF LEVEE SLOPE

PROJECT DOES NOT ENCROACH INTO 165' DERBY CREEK SETBACK

LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS 22,100 SQUARE FEET (0.50)

1 L5 SYNTHETIC TURF

EXISTING 26'X30' CXT RESTROOM BUILDING

EXISTING ASPHALT PAVING PLAZA

EXISTING MAINTENANCE BUILDING TO REMAIN

EXISTING VEGETATION ON ADJACENT PROPERTY TO REMAIN

FIRE ACCESS LANE TO REMAIN CLEAR

(4) ADA ACCESSIBLE PARKING SPACES - (PAVED)

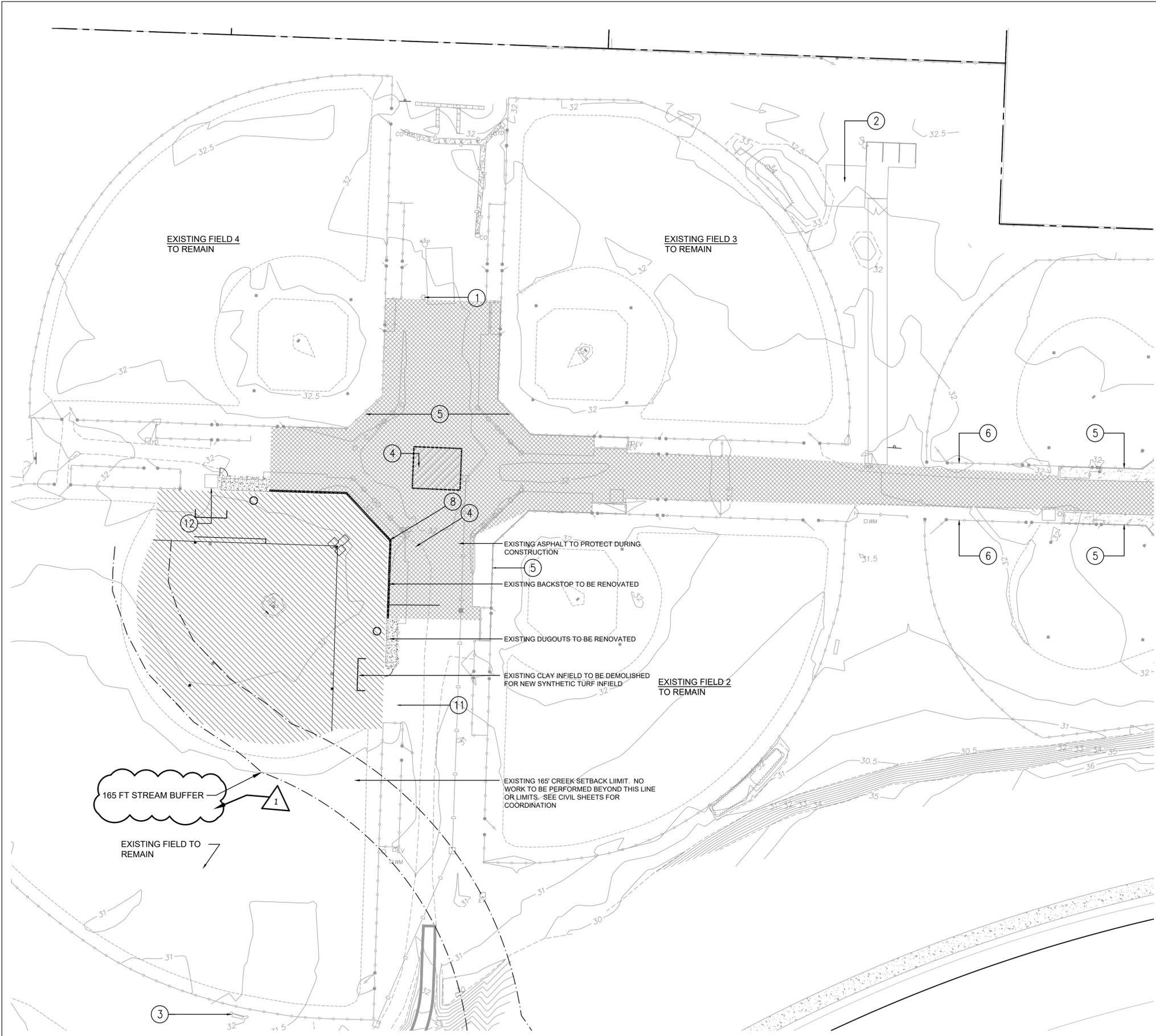
EXISTING KING COUNTY PARKING LOT TO REMAIN

EXISTING SITE ACCESS TO NE 145TH ST

OVERALL SITE PLAN
SCALE: 1"=60'-0"

CALL BEFORE YOU DIG
Call: TOLL FREE
1-800-424-5555

PERMIT RESUBMITTAL 2-18-2022



DEMOLITION/TESC LEGEND

- PARCEL LINE (PROPERTY LINE)
- PROPOSED LIMIT OF WORK
- LIMITS OF FIELD RENOVATION
- x- EXISTING FENCE TO REMOVE
- [Hatched Box] EXISTING INFIELD TO BE STRIPPED AND HAULED OFF SITE; LIMIT OF WORK TO MATCH SURFACE LAYOUT PLAN & 3' SEED REPAIR OFFSET OF TURF EDGE
- [Cross-hatched Box] EXISTING ASPHALT TO PROTECT

DEMOLITION/TESC NOTES

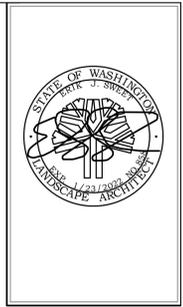
- ① EXISTING LIGHT POLES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
- ② EXISTING RESTROOM BUILDING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
- ③ EXISTING SCOREBOARD IN LEFT CENTER TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
- ④ EXISTING ASPHALT PAVEMENT TO BE PROTECTED. CONTRACTOR SHALL TAKE PICTURES OF ALL AREAS THAT MAY APPEAR DAMAGED AND NOTIFY LANDSCAPE ARCHITECT
- ⑤ EXISTING BACKSTOP FENCE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
- ⑥ EXISTING SIDELINE FENCE/GATES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
- ⑦ STRIP AND DISPOSE OF EXISTING NATURAL GRASS FIELDS WHERE NOTED.
- ⑧ SAWCUT, REMOVE AND DISPOSE OF EXISTING PAVING AS INDICATED
- ⑨ WHERE NOTED, ADJUST LOCATION OF IRRIGATION HEADS TO NEW EDGE OF SYNTHETIC TURF SYSTEM. COORDINATE WITH OWNERS MAINTENANCE STAFF.
- ⑩ ANY DAMAGE TO THE AFOREMENTIONED "EXISTING ITEMS" NOTED "TO REMAIN AND BE PROTECTED DURING CONSTRUCTION" TO BE REPLACED AT EQUAL/GREATER VALUE AT CONTRACTOR'S EXPENSE.
- ⑪ CONTRACTOR TO PROTECT EXISTING SEPTIC TANKS AND SYSTEM ADJACENT TO DUGOUT

NOTES

- 1. SEE SHEET L0 FOR PROJECT LIMITS FOR PERMITS.
- 2. CONTRACTOR TO CLEARLY MARK STREAMWETLAND BUFFER AND LEAVE UP FOR LENGTH OF PROJECT.
- 3. CONTRACTOR TO TURN OVER IRRIGATION HEADS AND BASES TO OWNER
- 4. COORDINATE NEW CURBING AND INSTALLATION OF BACKSTOP WITH SYNTHETIC TURF CONTRACTOR FOR ATTACHMENT AND INSTALLATION
- 5. EXISTING ASPHALT ACCESS FROM THE EXISTING GRAVEL PARKING LOT SHALL BE RESTORED IF NEEDED AFTER CONSTRUCTION.
- 6. CONTRACTOR SHALL PROTECT EXISTING ADA PARKING AT ENTRANCE OF PARK. RESTRIPE EXISTING ASPHALT OF CONSTRUCTION EFFECTS ADA PAINTED LINES MARKS AND LOGOS.
- 7. CONTRACTOR SHALL CALL LOCATE FOR ELECTRICAL ON SITE PRIOR TO START OF WORK.
- 8. CONTRACTOR TO REVIEW SEPTIC AS-BUILT DRAWINGS TO PROTECT ALL SEPTIC LINES.

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**DEMOLITION
PLAN**

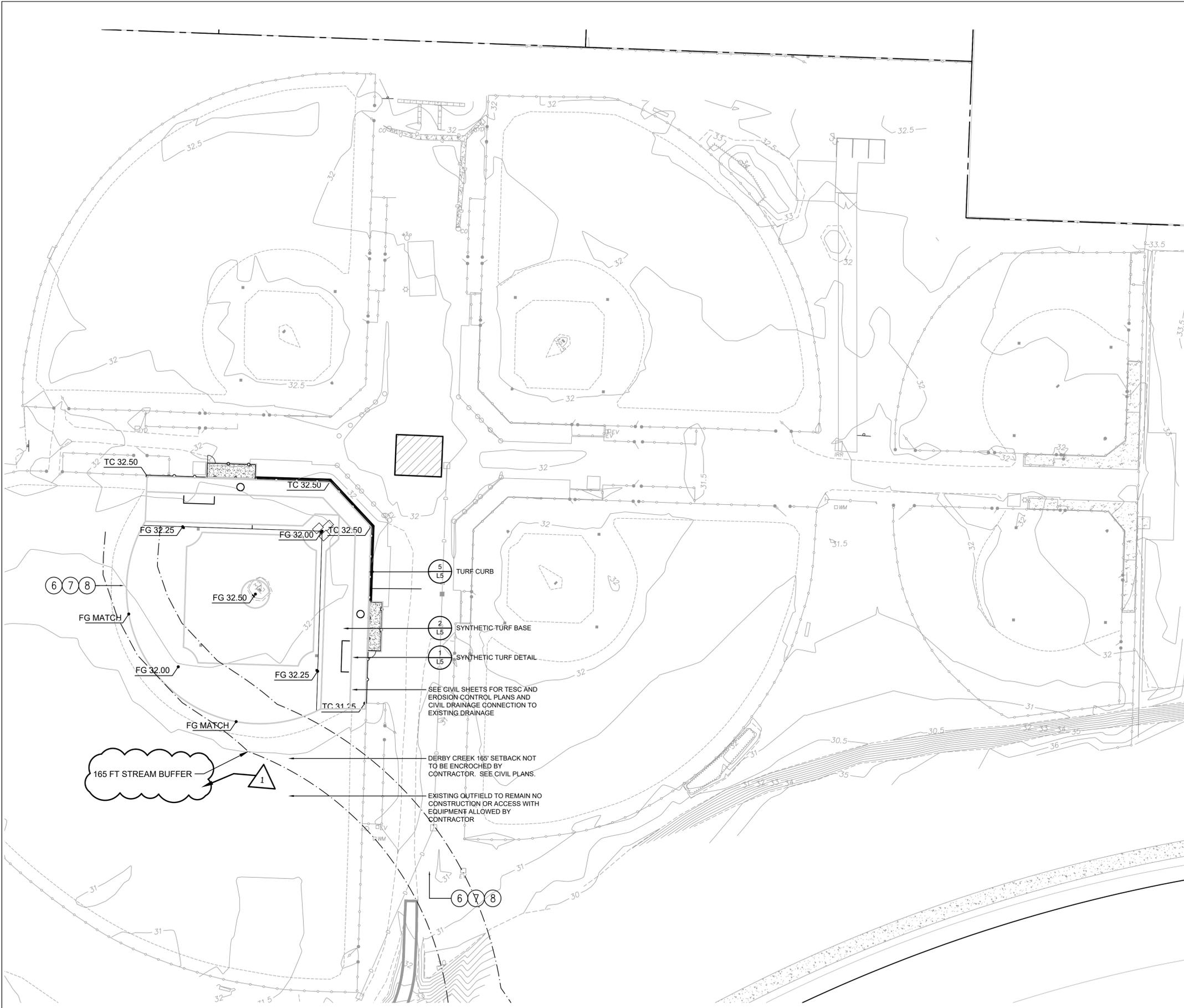
Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: EJSW
Check: MM
Revisions:

△ PERMIT SET REVISIONS

Sheet:

L1

DEMOLITION PLAN
SCALE: 1" = 30'-0"



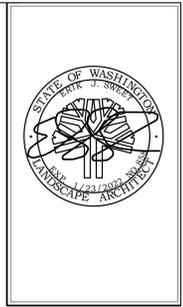
GRADING PLAN
SCALE: 1" = 30'-0"

GRADING LEGEND

---	PARCEL LINE (PROPERTY LINE)
- - - -	PROPOSED LIMIT OF WORK
TC 42.15	TOP OF CURB SPOT ELEVATION
FG 46.00	FINISH GRADE SPOT ELEVATION
SG 46.00	SUB GRADE SPOT ELEVATION
S = 0.33%	PERCENT OF SLOPE OF FINISH GRADE OR PIPE
→	DIRECTION OF SLOPE

- GRADING NOTES**
- ① HORIZONTAL CONTROL FOR NORTHINGS AND EASTINGS IS BASED ON THE SURVEY COMPLETED BY EASTSIDE CONSULTANTS. SEE EXISTING SURVEY SHEETS FOR THE CONTROL POINTS.
 - ② FIELD SHALL BE GRADED AT A CONSISTENT SLOPE NOT LESS THAN 0.75% AS INDICATED ON DRAWINGS.
 - ③ NOTIFY DESIGNER OF RECORD OF ANY SOFT SUBSOILS WHILE GRADING.
 - ④ HORIZONTAL CONTROL AND ALL GRADING IS BASED UPON THE APEX OF HOMEPLATE.
 - ⑤ ALL CONCRETE CURBING SHALL BE INSTALLED AND ALLOWED TO PROPERLY CURE PRIOR TO NAILER PLACEMENT.
 - ⑥ GRADE ALL AREAS OUTSIDE OF FIELD IN TRANSITION AREA AT A CONSISTENT GRADE.
 - ⑦ ALL AREAS OUTSIDE FIELD TO RECEIVED 2" DEPTH OF TOPSOIL.
 - ⑧ PLACE SOD 10' FROM CONCRETE CURBING. ALL OTHER AREAS OF DISTURBANCE CAN BE SEED.

- NOTES**
1. CONTRACTOR SHALL NOT ENCR OACH INTO 165' DERBY CREEK SETBACK AREA DURING CONSTRUCTION.
 2. CONTRACTOR SHALL SEE AND MAINTAIN ALL TESC AND CONSTRUCTION FENCE PER CIVIL PLANS AND INSTALL ORANGE CONSTRUCTION FENCE AT CREEK SETBACK LIMITS.
 3. ALL CONSTRUCTION GRADING TO BE COMPLETED BY MEANS OF AUTOMATED DOZER AND LASER CONTROL BY SPORTS FIELD SPECIALTY CONTRACTOR.
 4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES IN GRADING PLAN.
 5. CONTRACTOR SHALL REMOVE ANY AND ALL CONSTRUCTION DEBRIS FROM THE FIELD AREAS AND MAINTAIN A CLEAN SITE ON ALL EXISTING ASPHALT FOR USAGE OF FACILITY BY OWNER.
 6. FOLLOW ALL CLEARING AND GRADING PERMIT REQUIREMENTS FROM KING COUNTY.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
GRADING PLAN

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

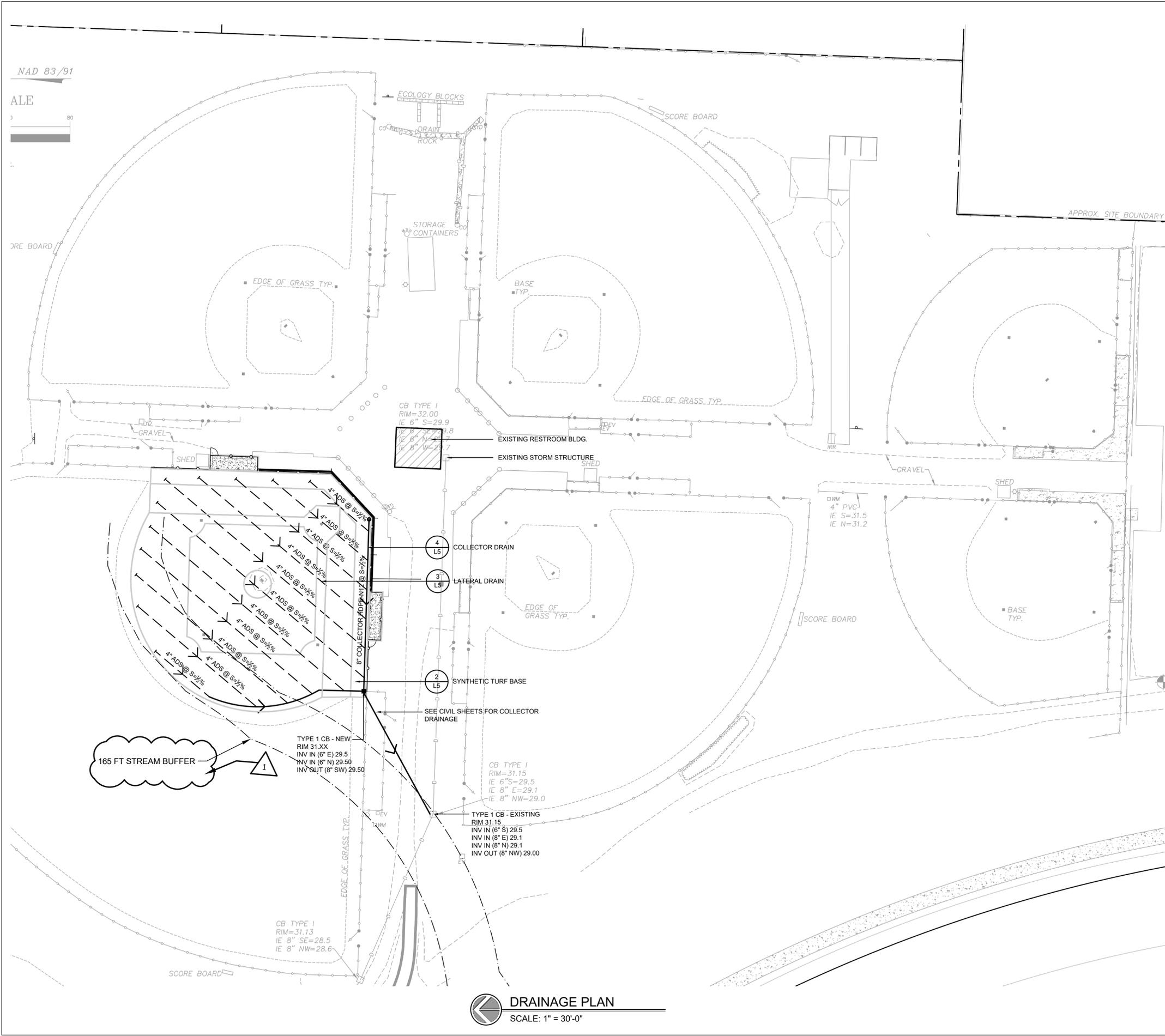
PERMIT SET REVISIONS

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

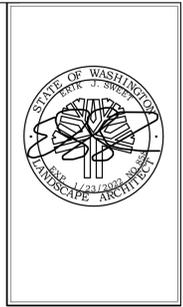
Sheet:

L2
7 OF 13



DRAINAGE LEGEND

	PARCEL LINE (PROPERTY LINE)
	PROPOSED LIMIT OF WORK
	COLLECTOR PIPE CONNECTED TO EXISTING STORM WATER BASIN
	FIELD DRAIN LATERAL- TYP
	EXISTING CATCH BASIN
	CATCH BASIN
	COLLECTOR DRAIN CLEAN OUT
$S = 0.33\%$	PERCENT OF SLOPE OF FINISH GRADE OR PIPE



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**DRAINAGE
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

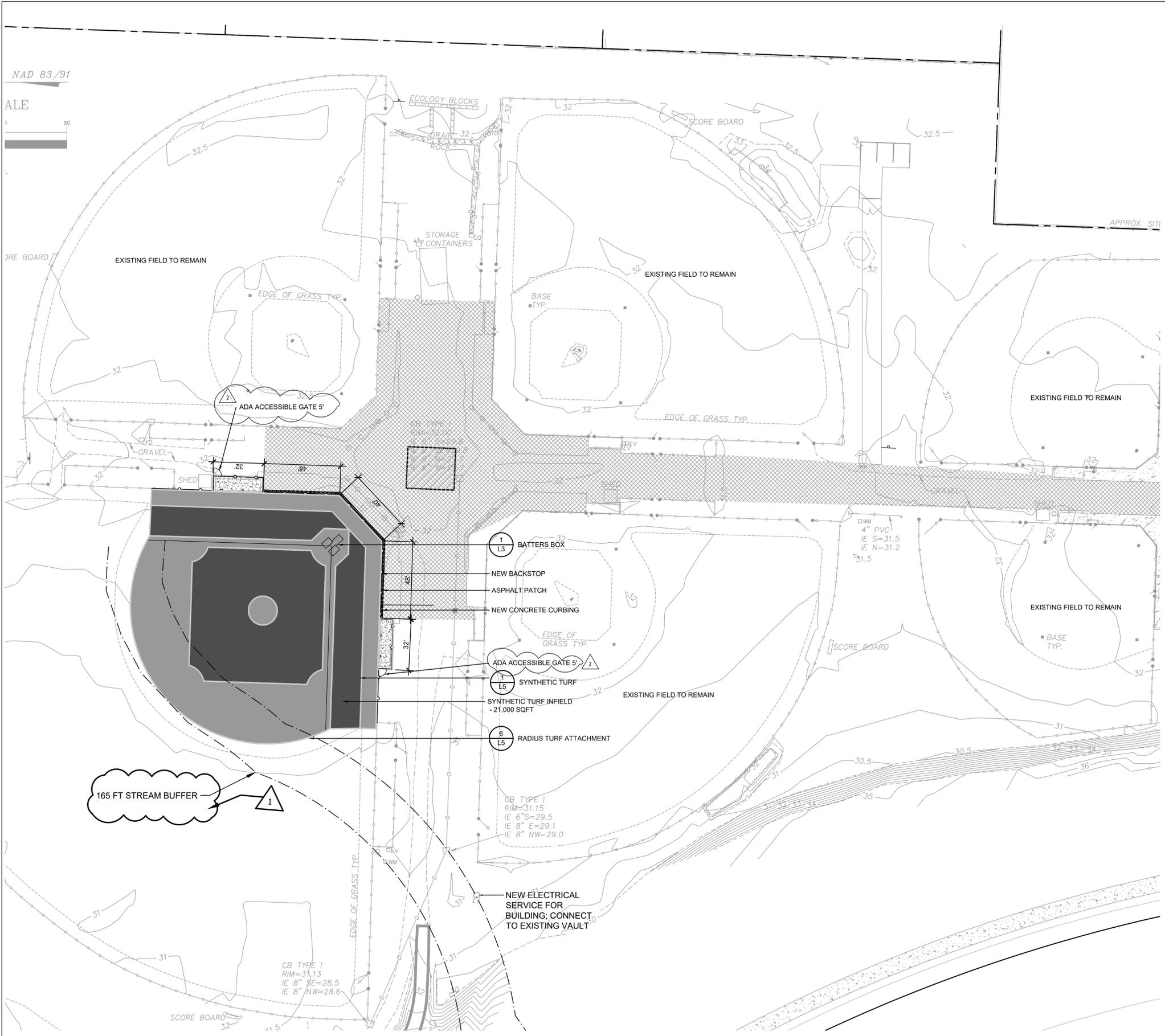
PERMIT SET REVISIONS

Sheet:
L3

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

DRAINAGE PLAN
SCALE: 1" = 30'-0"

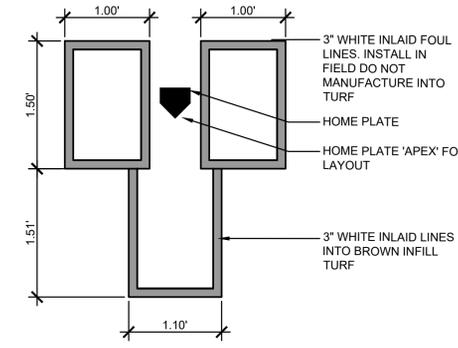


SURFACING LEGEND

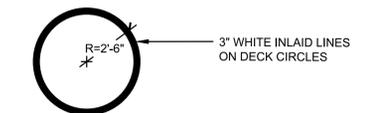
- PARCEL LINE (PROPERTY LINE)
- - - PROPOSED LIMIT OF WORK
- [Pattern] SOD RESTORATION AREA
- [Grey Box] BROWN SYNTHETIC TURF SURFACING
- [Dark Grey Box] GREEN SYNTHETIC TURF SURFACING
- [Black Box] ASPHALT PATCH
- WHITE FIELD STRIPING LINES

SURFACING NOTES

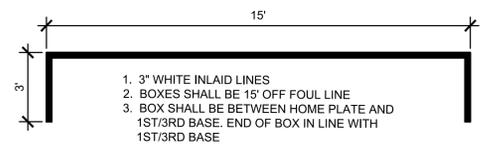
- 1 ALL OUTFIELD NATURAL GRASS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. RESTORE/REPAIR TO EXISTING CONDITION THEREAFTER IF NECESSARY.
- 2 ALL LINES SHALL BE 3" WIDTH WHITE IN COLOR INLAID IN THE TURF
- 3 ALL INFIELD SYNTHETIC TURF SHALL BE GREEN OR BROWN IN COLOR PER PLANS.
- 4 ALL INFILL SHALL BE A SAND AND RUBBER MIX



1 BATTER'S/ CATCHER'S BOX
NTS



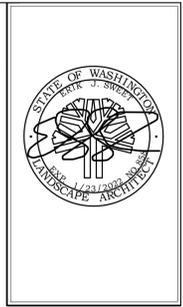
2 ON DECK CIRCLE
NTS



3 COACHES BOX
NTS

NOTES

1. SEE SHEET L0 FOR PROJECT LIMITS FOR SEPA REVIEW AND PERMITS.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**SURFACE LAYOUT
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

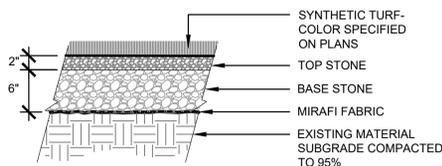
PERMIT SET REVISIONS

Sheet:

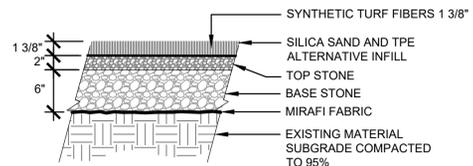
L4



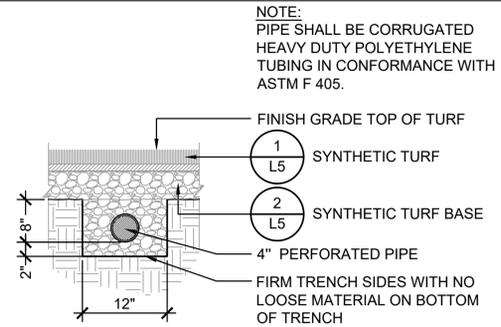
SURFACE LAYOUT PLAN
SCALE: 1" = 30'-0"



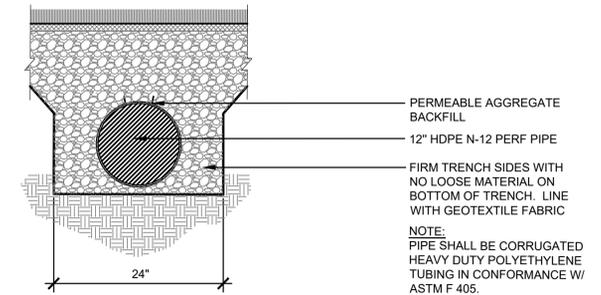
1 SYNTHETIC TURF DETAIL
NTS



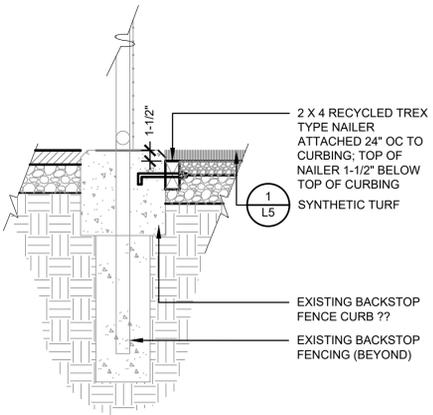
2 SYNTHETIC TURF BASE CROSS SECTION
NTS



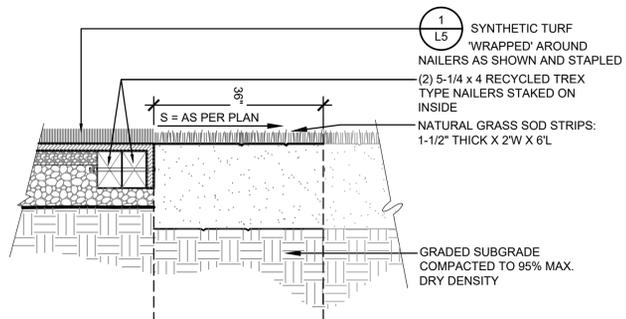
3 LATERAL DRAIN LINE
NTS



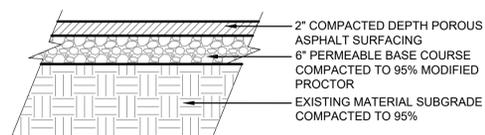
4 COLLECTOR DRAIN - SYNTHETIC TURF
NTS



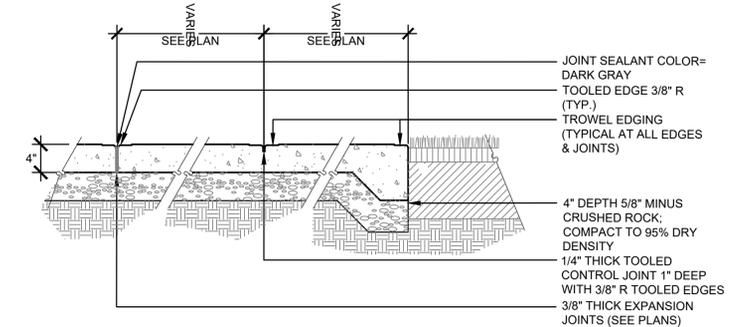
5 FENCE POST FOOTING - NON NET POST
NTS



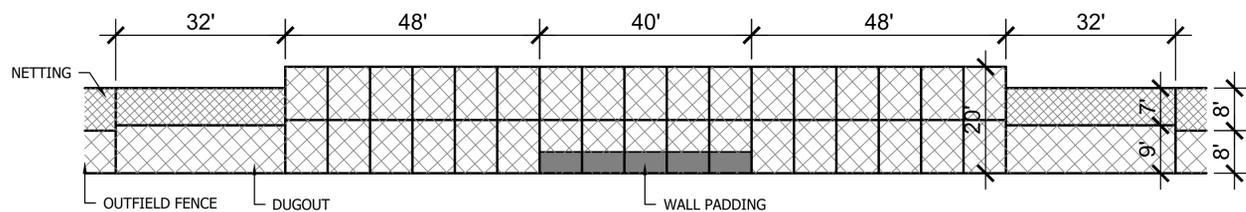
6 TURF ATTACHMENT - INFIELD RADIUS
NTS



7 ASPHALT PATCH DETAIL
NTS



8 CONCRETE PAVING & JOINT DETAILS
NTS



9 BASEBALL BACKSTOP LAYOUT
SCALE: NTS

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

SANDERSON STEWART
Enduring Community Design

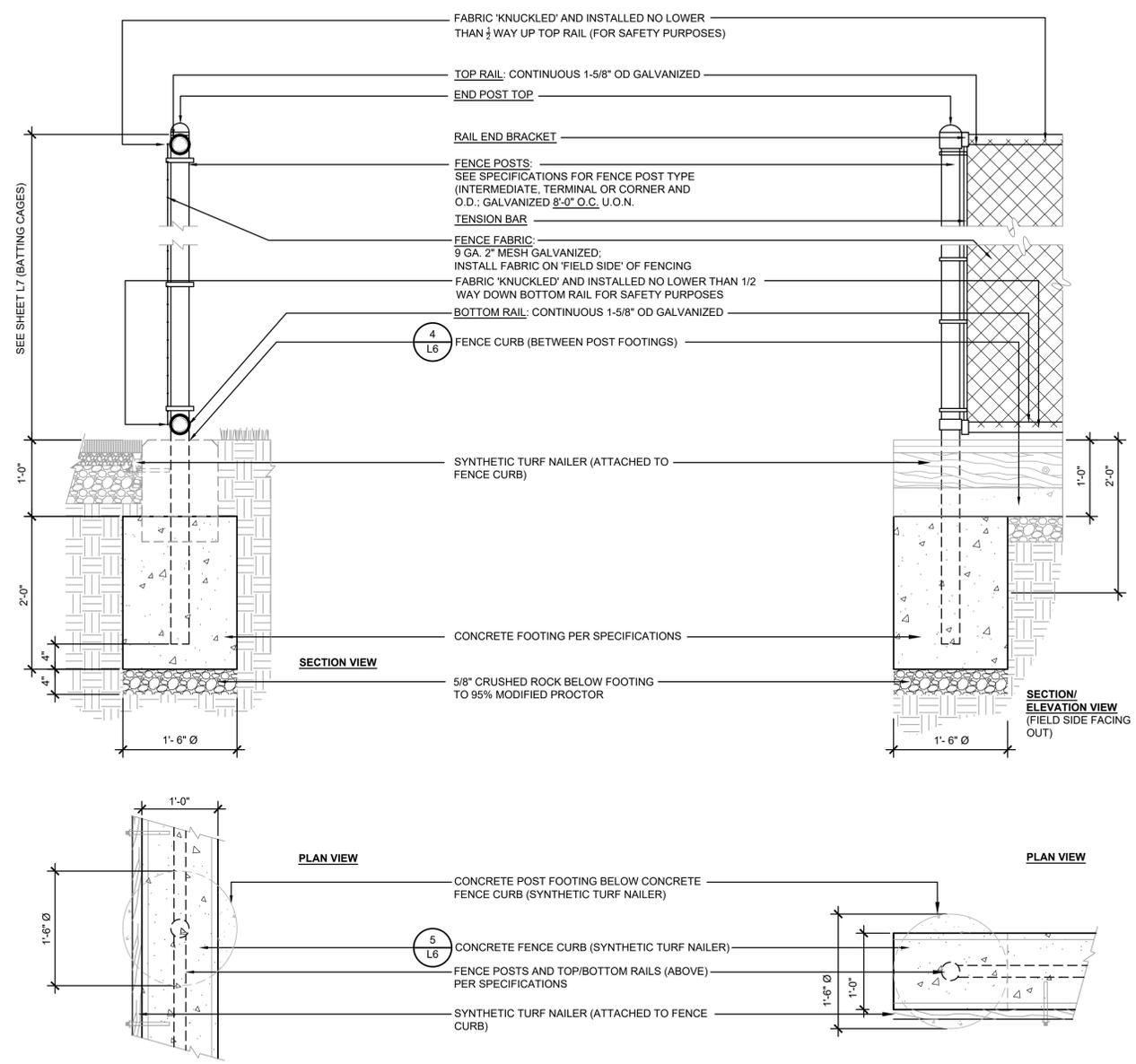
Drawing:
FIELD DETAILS

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

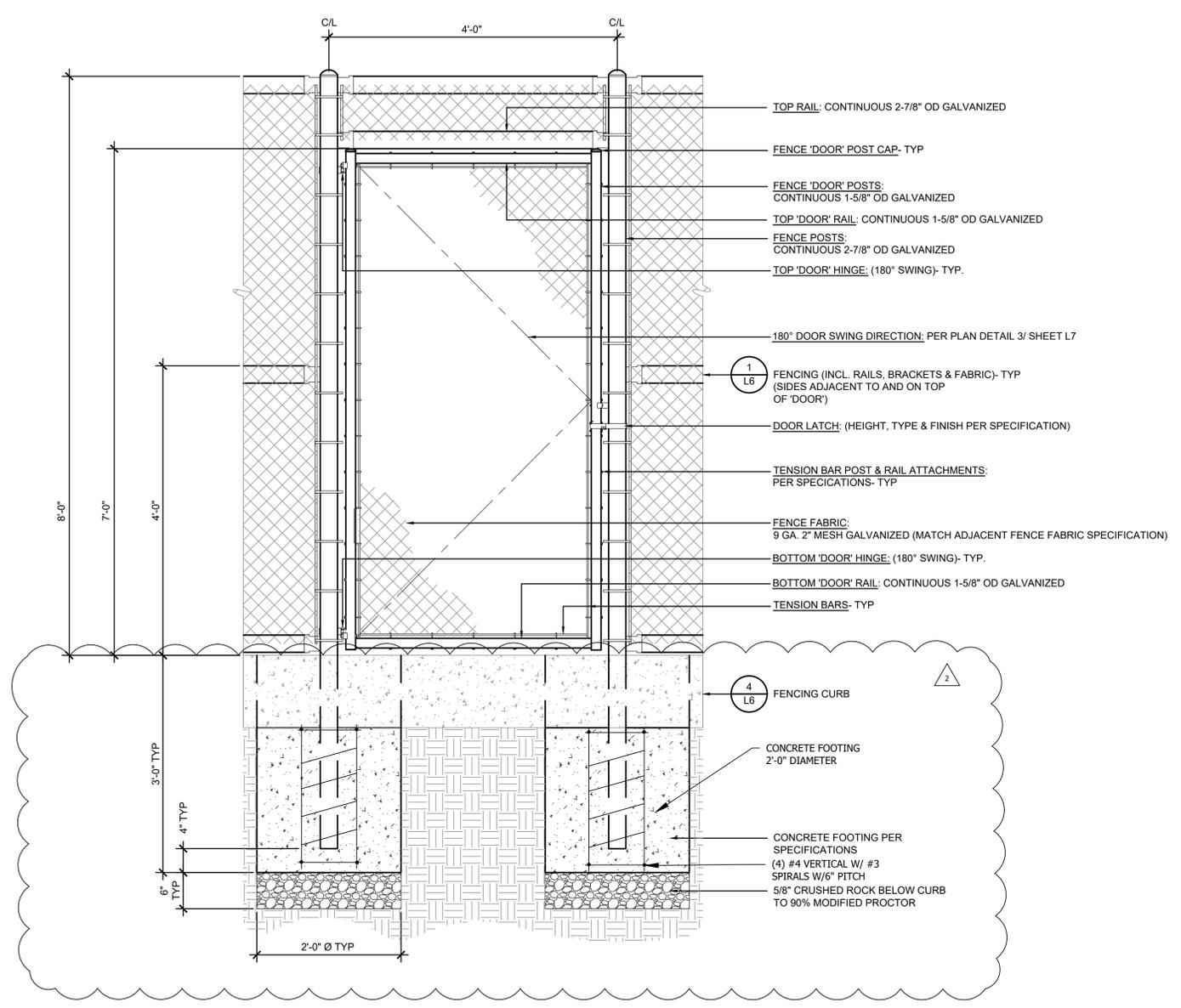
Sheet:

L5

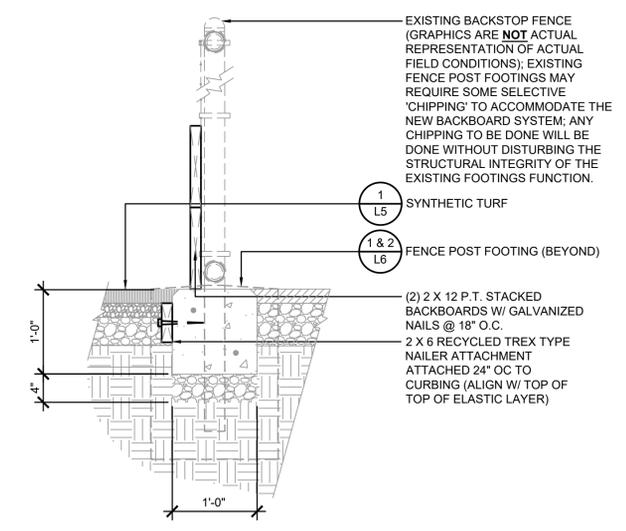


1 FENCE & FOOTING- SECTION & PLAN
NTS

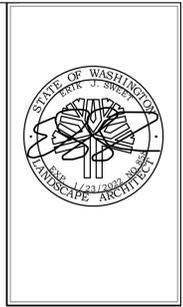
2 FENCE & FOOTING- SECT. /ELEV./ PLAN
NTS



3 GATE & FOOTINGS- SECTION /ELEVATION
NTS



4 NEW SYN. TURF NAILER @ EXISTING BACKSTOP FENCE & NEW 12"W CURB- SECTION
NOT TO SCALE



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**FIELD
DETAILS**

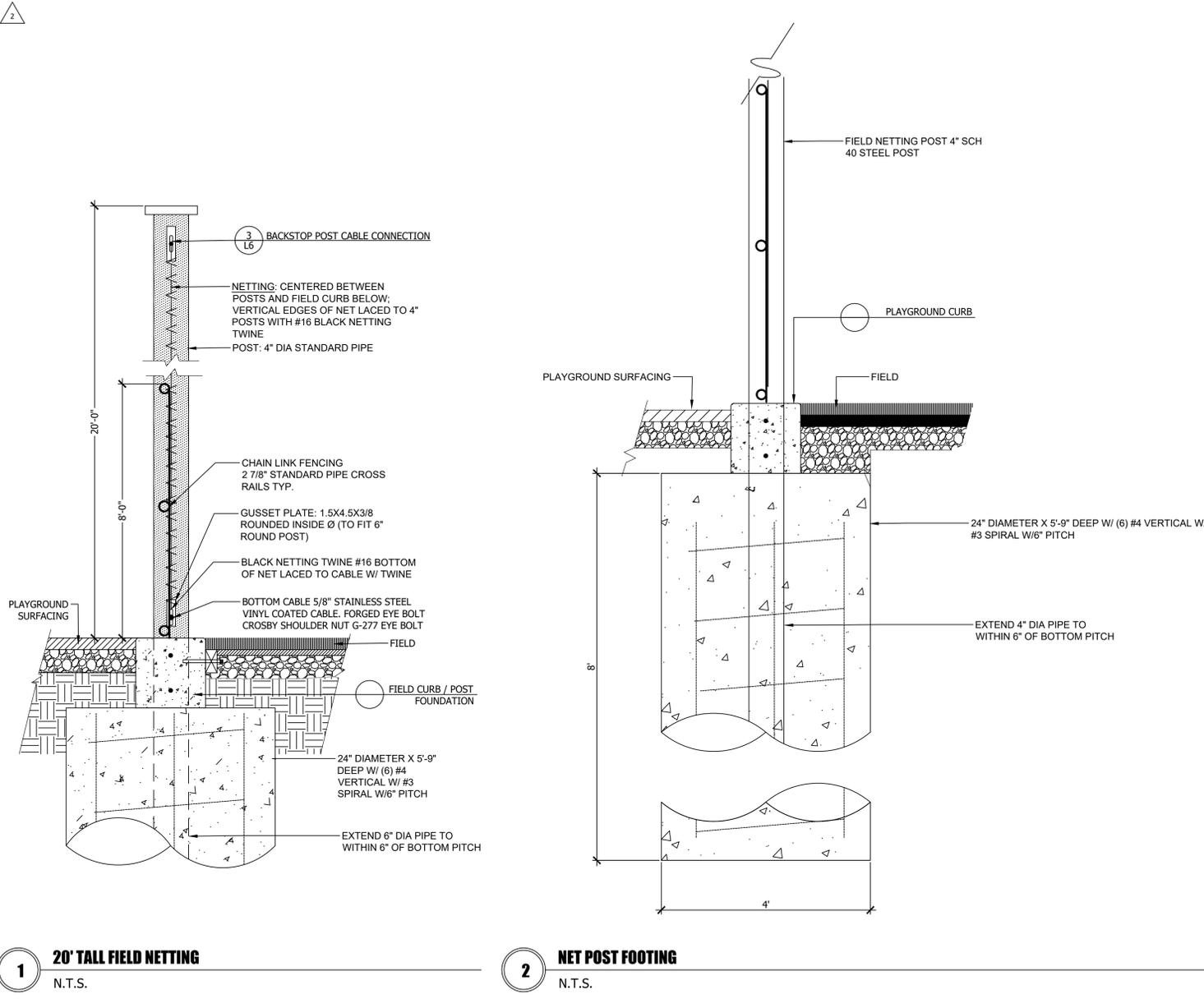
Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

Sheet:
L6

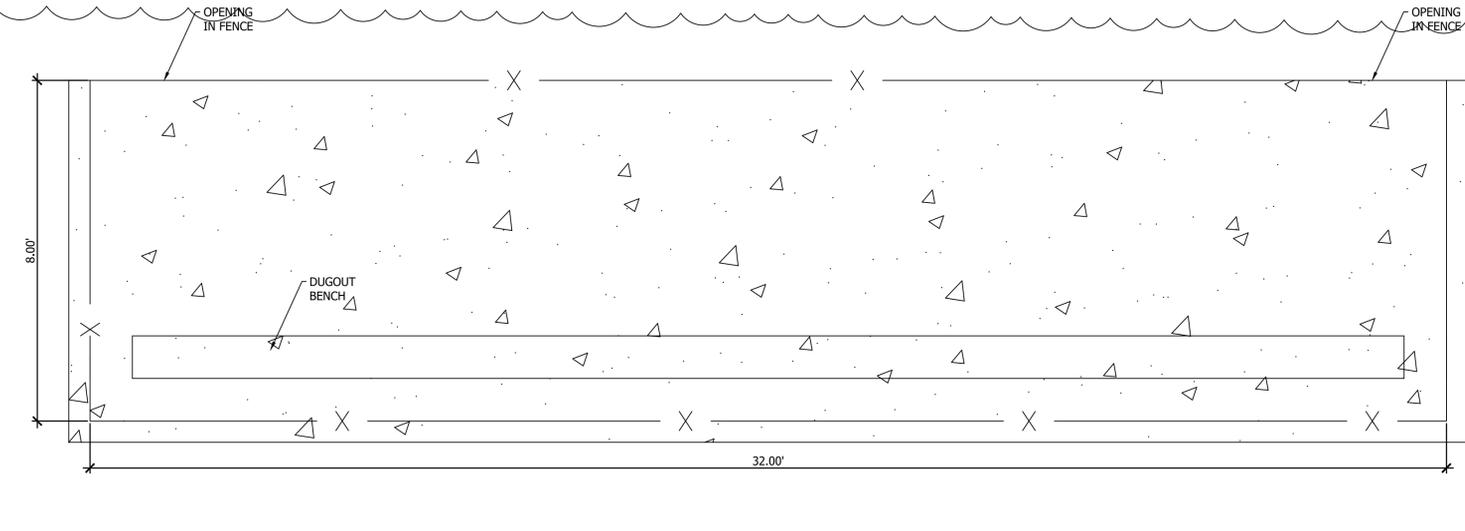
(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

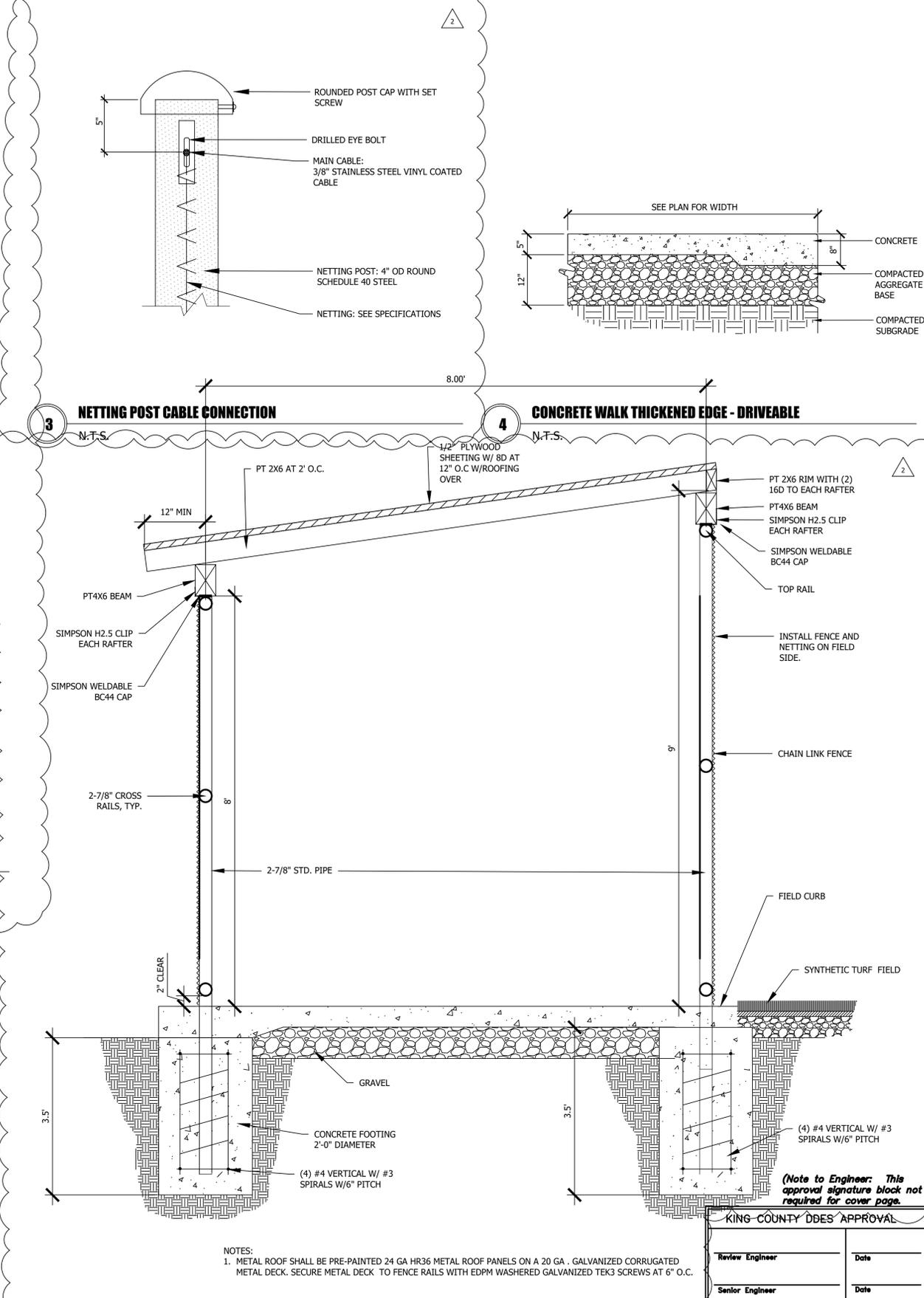


1 20' TALL FIELD NETTING
N.T.S.

2 NET POST FOOTING
N.T.S.



5 DUGOUT - PLAN
N.T.S.



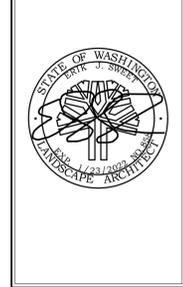
3 NETTING POST CABLE CONNECTION
N.T.S.

4 CONCRETE WALK THICKENED EDGE - DRIVEABLE
N.T.S.

6 DUGOUT-ELEVATION
N.T.S.

NOTES:
1. METAL ROOF SHALL BE PRE-PAINTED 24 GA HR36 METAL ROOF PANELS ON A 20 GA . GALVANIZED CORRUGATED METAL DECK. SECURE METAL DECK TO FENCE RAILS WITH EDPM WASHERED GALVANIZED TEK3 SCREWS AT 6" O.C.

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON
STEWART**
Enduring Community Design

Drawing:
**FIELD
DETAILS**

Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

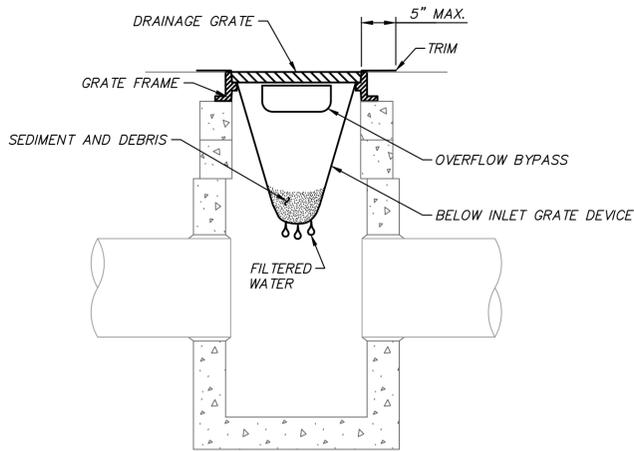
1 PERMIT SET REVISIONS
2 PERMIT SET REVISIONS

Sheet:
L7

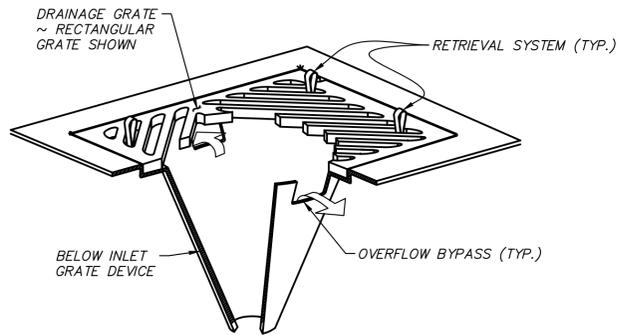
A PORTION OF SE 1/4 SEC. 15, TWP. 26 N., RGE. 5 E., W.M.

KING COUNTY EROSION & SEDIMENT CONTROL NOTES:

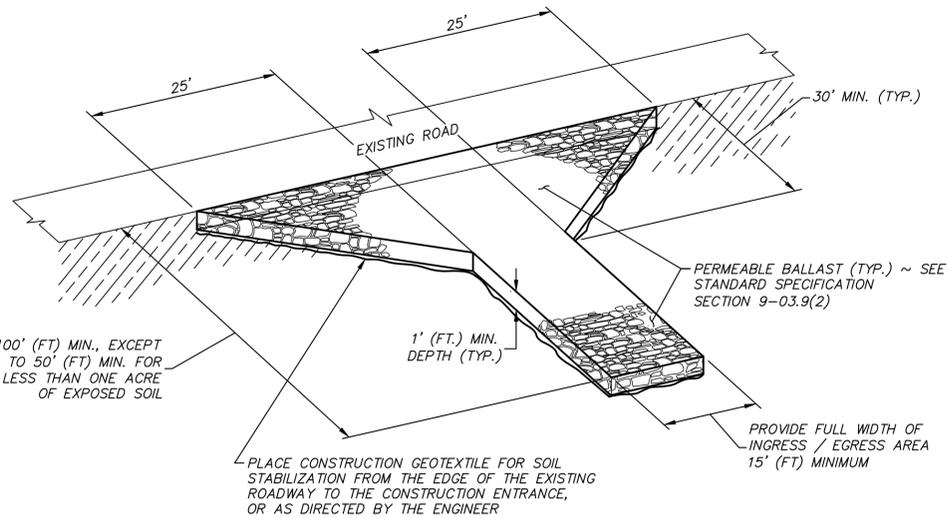
- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.).
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- ANY AREA NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE LEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
- PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR FOR REVIEW.



- SIZE THE BELOW INLET GRATE DEVICE (BIGD) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
- THE BIGD SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
- THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BIGD WITHOUT SPILLING THE COLLECTED MATERIAL.
- PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.3(15).

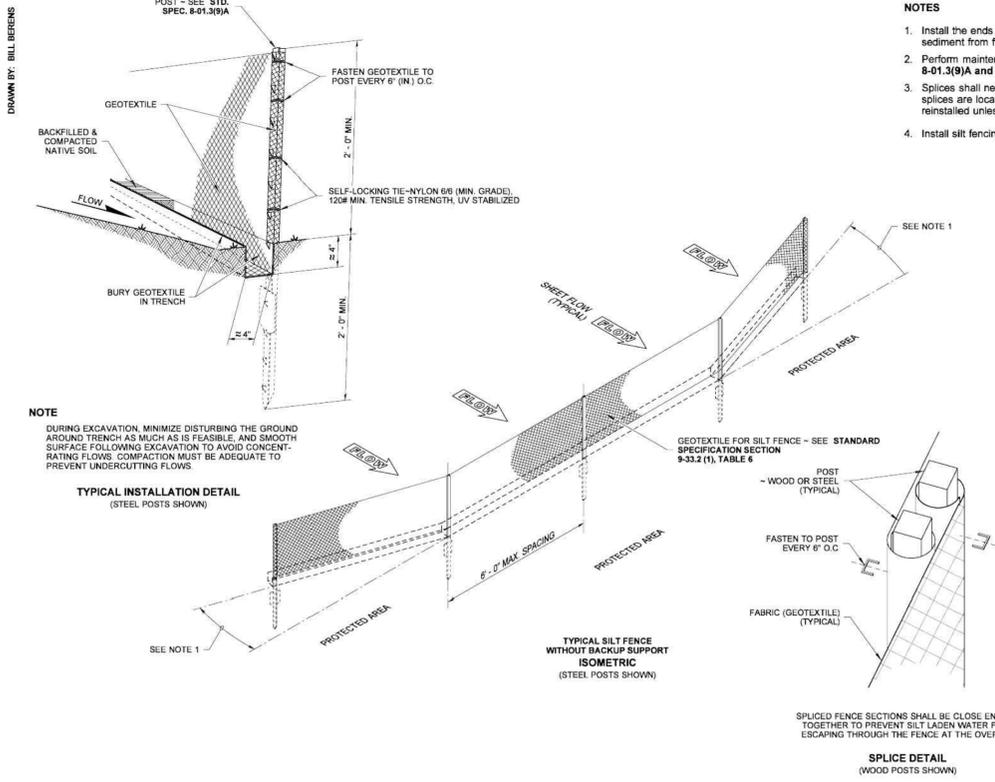


1 INLET SEDIMENT PROTECTION
NOT TO SCALE WSDOT STD. PLAN I-40.20-00



ISOMETRIC VIEW
STABILIZED CONSTRUCTION ENTRANCE SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATION SECTION 8-01.3(7).

2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE WSDOT STD. PLAN I-80.10-02



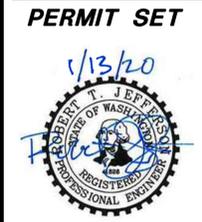
- NOTES**
- Install the ends of the silt fence to point slightly upslope to prevent sediment from flowing around the ends of the fence
 - Perform maintenance in accordance with Standard Specifications 8-01.3(9) and 8-01.3(15).
 - Splices shall never be placed in low spots or sump locations. If splices are located in low or sump areas, the fence may need to be reinstalled unless the Project Engineer approves the installation.
 - Install silt fencing parallel to mapped contour lines.



SILT FENCE
STANDARD PLAN I-30.15-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 3/22/13
STATE DESIGN ENGINEER
Washington State Department of Transportation

3 SILT FENCE
NOT TO SCALE WSDOT STD. PLAN I-30.15-02

DATE:	BY:	CHK:
REVIEWED BY:	DATE:	REVISION:
NO.	DATE	REVISION



STAMP NOT VALID UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: 01/13/2020
SCALE: HORIZ: --- VERT: ---

PROJECT NO.
SLAL00000004

SHEET NO.
C1.1
OF **5**

Plot Date: 1/13/2020 2:47 PM
Save Date: 1/13/2020 2:46 PM
By: Michael Stewart
File: P:\S\SLAL00000004\0400CAD\ESC\SHETS\ESC-F-SLAL000004.dwg
By: Mjst



A PORTION OF SE 1/4 SEC. 15, TWP. 26 N., RGE. 5 E., W.M.

STORM SYSTEM DEVELOPMENT (ON-SITE AREAS ONLY)

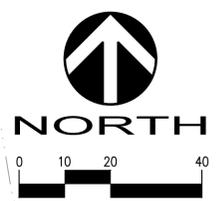
NEW IMPERVIOUS AREA	0 Sq. Ft.
REPLACED IMPERVIOUS AREA	511 Sq. Ft.
NEW SYNTHETIC TURF AREA	18,903 Sq. Ft.

EARTHWORK QUANTITIES

CUT	_____	CY
FILL	_____	CY
TOTAL EARTHWORK	_____	CY

LEGEND

- 564 --- EXISTING CONTOURS
- 565 ---
- 564 --- PROPOSED CONTOURS
- 565 ---
- CLEANOUT (1) C3.1
- CATCH BASIN (3) C3.1 (4) C3.1
- SD --- SD --- STORM DRAINAGE PIPING



SPOT ELEVATION NOTES:

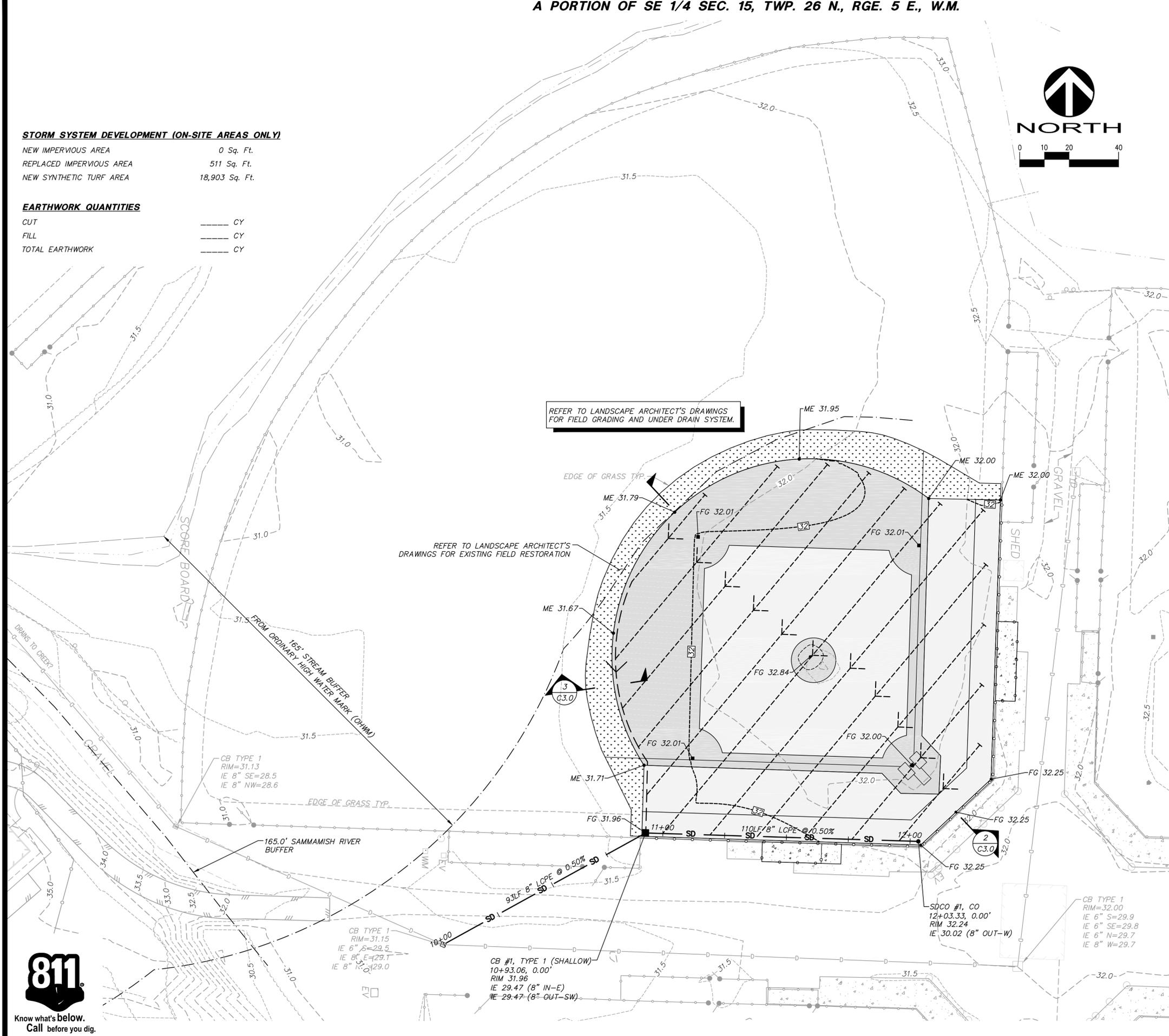
ALL SPOT ELEVATIONS SHOWN ARE TOP OF ASPHALT/CONCRETE SIDEWALK UNLESS OTHERWISE NOTED.
 EG - EXISTING GRADE
 FG - FINISHED GRADE
 FL - FLOWLINE
 ME - MATCH EXISTING ELEVATION

KING COUNTY GENERAL NOTES:

1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.
2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES (DDES) ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DDES PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.
3. APPROVAL OF THIS ROAD, GRADING, PARKING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.)
4. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DDES'S LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
5. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
7. IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF KCRS CHAPTER 8 ARE SUBMITTED TO THE DDES'S LAND USE INSPECTION SECTION THREE DAYS PRIOR TO CONSTRUCTION.
9. DATUM SHALL BE KCAS UNLESS OTHERWISE APPROVED BY DDES.
10. DEWATERING SYSTEM (UNDERDRAIN) CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION. ALL UNDERDRAIN SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.
11. ALL UTILITY TRENCHES AND ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY, STANDARD PROCTOR.
12. OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY DDES AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY KING COUNTY.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FIELD GRADING AND UNDER DRAIN SYSTEM.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR EXISTING FIELD RESTORATION



CB TYPE 1
 RIM=31.13
 IE 8" SE=28.5
 IE 8" NW=28.6

CB TYPE 1
 RIM=31.15
 IE 6" S=29.5
 IE 8" E=29.7
 IE 8" W=29.0

CB #1, TYPE 1 (SHALLOW)
 10+93.06, 0.00'
 RIM 31.96
 IE 29.47 (8" IN-E)
 IE 29.47 (8" OUT-SW)

SDCO #1, CO
 12+03.33, 0.00'
 RIM 32.24
 IE 30.02 (8" OUT-W)

CB TYPE 1
 RIM=32.00
 IE 6" S=29.9
 IE 6" SE=29.8
 IE 6" N=29.7
 IE 8" W=29.7

LOCATIONS OF EXISTING FEATURES ARE BASED ON SURVEY PROVIDED BY EASTSIDE CONSULTANTS, INC. DATED DECEMBER 2013. ADDITIONAL SURVEY OF DERBY CREEK AND BUFFERS PROVIDED BY PARAMETRIX. DATE OF SURVEY IS UNDETERMINED. CONTRACTOR TO CONFIRM EXISTING FEATURES, RIMS AND INVERT ELEVATIONS PRIOR TO STARTING WORK.



STORM DRAINAGE PLAN
SLA LANDSCAPE ARCHITECTS
NORTHSHORE ATHLETIC FIELDS
 WA
 KING COUNTY

DATE:	
BY:	CK
REVIEWED BY:	
DATE:	
NO.:	1
REVISION:	

PERMIT SET



STAMP NOT VALID UNLESS SIGNED AND DATED

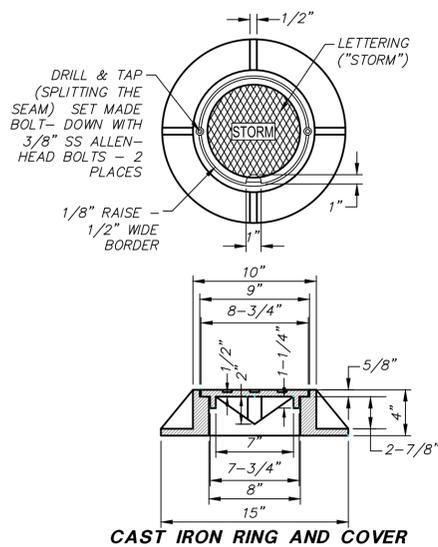
FIRST SUBMITTAL DATE: 01/13/2020
 SCALE: HORIZ: --- VERT: ---

PROJECT NO.
SLAL0000004

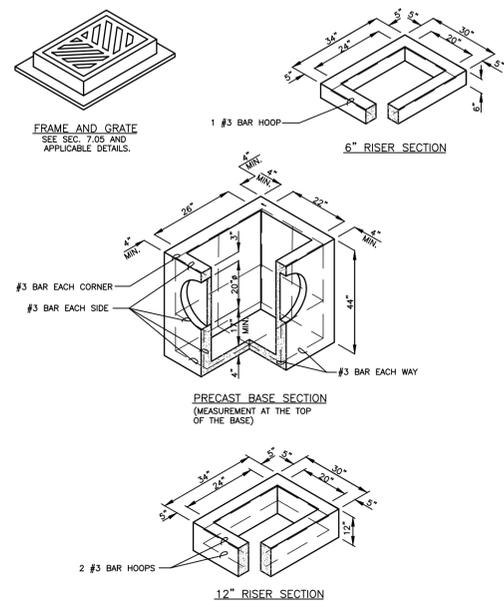
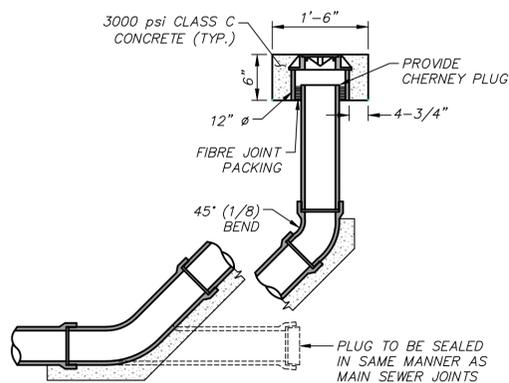
SHEET NO.
C2.0
 OF 5

Plot Date: 1/13/2020 2:47 PM
 Save Date: 1/13/2020 2:44 PM
 By: Michael Stewart
 File: P:\S\SLAL00000004\0400CAD\DES\SHETS\SD-F-SLAL00004.dwg
 By: Mjt





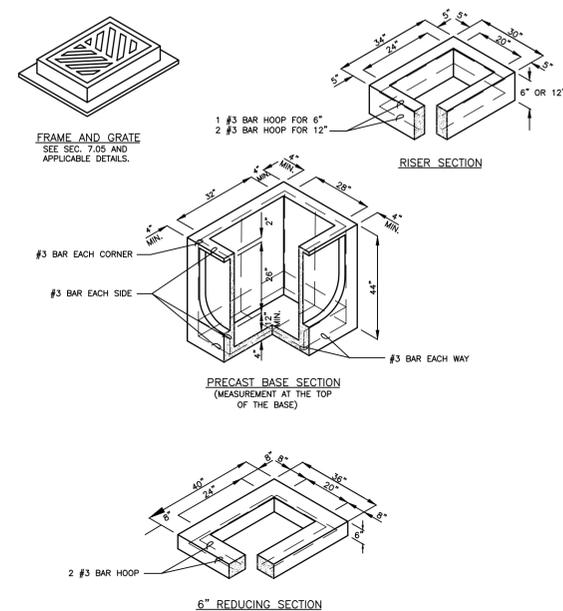
- NOTES:**
- PIPE MATERIAL AS SPECIFIED BY THE ENGINEER.
 - PIPE DIAMETER AS SHOWN PER PLAN.



- NOTES:**
- CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
 - AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
 - ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
 - PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
 - KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
 - ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20 IN. KNOCKOUTS MAY BE EITHER ROUND OR
 - THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT.
 - THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
 - CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 - FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
 - FOR CATCH BASINS IN PARKING LOTS REFER TO WSDOT/APWA STANDARD DWG. B-5.60-01.
 - EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
 - SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

Department of Transportation
Road Services Division
2016 Design and Construction Standards
King County

CATCH BASIN TYPE 1 FIG. 7-003
7-8 KING COUNTY STD. PLAN 7-003

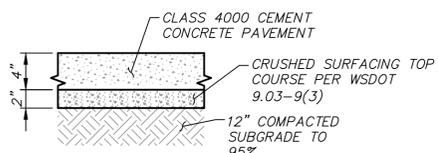


- NOTES:**
- CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
 - AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
 - ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
 - PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
 - KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
 - KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAX. DIAM. OF 28 IN. KNOCKOUTS MAY BE EITHER ROUND OR 1/2" SHAPE.
 - THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
 - CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 - FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
 - MAX. DEPTH FROM FINISHED GRADE TO PIPE INVERT SHALL BE 5 FT.
 - EDGE OF REDUCING SECTION OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
 - SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

Department of Transportation
Road Services Division
2016 Design and Construction Standards
King County

CATCH BASIN TYPE 1-L FIG. 7-004
7-9 KING COUNTY STD. PLAN 7-004

1 CLEANOUT
NOT TO SCALE



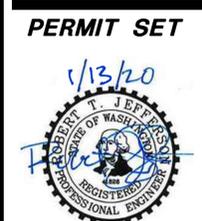
- NOTES:**
- DEPTHS ARE COMPACTED THICKNESS.
 - DUMMY JOINTS CONSISTING OF 3/16" BE 2" PREMOLDED JOINT MATERIAL SHALL BE PLACED AT MAXIMUM 18 FOOT INTERVALS.
 - PROVIDE A TOOLED CONSTRUCTION JOINT AT MAXIMUM 6 FOOT INTERVAL.
 - THE CONTRACTOR SHALL EXPOSE EXISTING FILL, PROOF ROLL AND COMPACT TO 95% IF YIELDING CONDITIONS ARE ENCOUNTERED, YIELDING MATERIALS SHALL BE REPLACED WITH IMPORTED STRUCTURAL FILL MATERIAL. THE DEPTH OF MATERIAL REPLACEMENT SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

2 CEMENT CONCRETE SECTION
NOT TO SCALE

3 CATCH BASIN - TYPE 1
NOT TO SCALE

4 CATCH BASIN - TYPE 1L
NOT TO SCALE

REVIEWED BY: <i>map</i>	DATE	NO.	REVISION
BY: <i>CK</i>	DATE	NO.	REVISION



STAMP NOT VALID UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: 01/13/2020
SCALE: HORIZ:----- VERT:-----

PROJECT NO. **SLAL00000004**

SHEET NO. **C3.1**
OF **5**

Plot Date: 1/13/2020 2:47 PM
Save Date: 1/13/2020 2:44 PM
By: Michael Stewart
File: P:\SS\SLAL00000004\0400CAD\EC\SHETS\SD-F-SLAL0000.dwg



NORTHSHORE ATHLETIC FIELD PLAYGROUND

14735 NE 145TH ST
WOODINVILLE, WA 98072

PREPARED FOR:

NORTHSHORE ATHLETIC FIELDS NON-PROFIT
14735 NE 145TH ST
WOODINVILLE, WA 98072

LANDSCAPE ARCHITECT

SANDERSON STEWART
ATTN: ERIK SWEET
1300 N TRANSTECH WAY
BILLINGS MT 59102



Sheet Number	Sheet Title
--	COVER
L1.0	OVERALL PLAN
L1.1	LANDSCAPE PLAN
L2.1	DETAILS
L2.2	DETAILS 2



VICINITY MAP

NOT TO SCALE



Enduring Community Design

3. Exhibit C is deleted in its entirety and replaced by the following new Exhibit C:

AMENDED EXHIBIT – C**Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)**

Project	Timing
Concessions / Restroom Building	2013
Maintenance Building	2013
Electrical (upgrade to code)	2013-2014
Batting Cages	2013-2014
Picnic Area & Kids Play Structure	2014
Field—1 Bleachers	2014
Walkway / Accessibility	2014
Entry	2014
Infield Turf and/or Fencing / Backstops / Netting	2015
3 rd Field Infield Conversion	Spring 2022
Playground	Summer 2022

All other terms, conditions, specifications and requirements of the Agreement shall remain unchanged and in full effect, except as amended herein.

IN WITNESS WHEREOF, the parties hereto have executed this amendment.

Northshore Athletic Fields

King County

By _____

By _____

TITLE _____

TITLE _____

Date _____

Date _____

Certificate Of Completion

Envelope Id: 9D2D1B37B9C64A31ADE9FE15CFBE415F	Status: Completed
Subject: Please DocuSign: Ordinance 19459.docx, Ordinance 19459 Attachment A.pdf	
Source Envelope:	
Document Pages: 3	Signatures: 3
Supplemental Document Pages: 30	Initials: 0
Certificate Pages: 5	Envelope Originator:
AutoNav: Enabled	Cherie Camp
Enveloped Stamping: Enabled	401 5th Ave
Time Zone: (UTC-08:00) Pacific Time (US & Canada)	Suite 100
	Seattle, WA 98104
	Cherie.Camp@kingcounty.gov
	IP Address: 198.49.222.20

Record Tracking

Status: Original	Holder: Cherie Camp	Location: DocuSign
6/30/2022 8:55:27 AM	Cherie.Camp@kingcounty.gov	
Security Appliance Status: Connected	Pool: FedRamp	
Storage Appliance Status: Connected	Pool: King County General (ITD)	Location: DocuSign

Signer Events

Claudia Balducci
 claudia.balducci@kingcounty.gov
 King County General (ITD)
 Security Level: Email, Account Authentication (None)

Signature

DocuSigned by:

 7E1C273CE9994B6...
 Signature Adoption: Pre-selected Style
 Using IP Address: 73.181.163.252

Timestamp

Sent: 6/30/2022 9:00:11 AM
 Viewed: 6/30/2022 9:19:30 AM
 Signed: 6/30/2022 9:19:43 AM

Electronic Record and Signature Disclosure:

Not Offered via DocuSign
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 6/30/2022 9:19:35 AM
 Read: Not Required
 Accepted: Not Required

Angel Foss
 angel.allende@kingcounty.gov
 Security Level: Email, Account Authentication (None)

DocuSigned by:

 92FC09E4162E45A...
 Signature Adoption: Pre-selected Style
 Using IP Address: 198.49.222.20

Sent: 6/30/2022 9:19:51 AM
 Resent: 7/7/2022 9:27:56 AM
 Viewed: 7/7/2022 9:29:31 AM
 Signed: 7/7/2022 9:30:21 AM

Electronic Record and Signature Disclosure:

Accepted: 7/7/2022 9:29:31 AM
 ID: 45f108c0-d180-406b-91b3-2571bccf00ab
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 7/7/2022 9:30:00 AM
 Read: Not Required
 Accepted: Not Required

Dow Constantine
 Dow.Constantine@kingcounty.gov
 Security Level: Email, Account Authentication (None)

DocuSigned by:

 4FBCAB8196AE4C6...
 Signature Adoption: Uploaded Signature Image
 Using IP Address: 198.49.222.20

Sent: 7/7/2022 9:30:29 AM
 Viewed: 7/14/2022 2:09:27 PM
 Signed: 7/14/2022 2:09:52 PM

Electronic Record and Signature Disclosure:

Accepted: 7/14/2022 2:09:27 PM
 ID: 440b47a5-e849-46df-a36a-96ea3ab1b38b
 Supplemental Documents:

Ordinance 19459 Attachment A.pdf

Viewed: 7/14/2022 2:09:45 PM

Signer Events	Signature	Timestamp
		Read: Not Required Accepted: Not Required
In Person Signer Events	Signature	Timestamp
Editor Delivery Events	Status	Timestamp
Agent Delivery Events	Status	Timestamp
Intermediary Delivery Events	Status	Timestamp
Certified Delivery Events	Status	Timestamp
Carbon Copy Events	Status	Timestamp
Kaitlyn Wiggins kwiggins@kingcounty.gov Executive Legislative Coordinator King County Executive Office Security Level: Email, Account Authentication (None)	<div style="border: 2px solid blue; padding: 5px; display: inline-block;">COPIED</div>	Sent: 7/7/2022 9:30:29 AM Viewed: 7/7/2022 1:12:53 PM
Electronic Record and Signature Disclosure: Not Offered via DocuSign		
Witness Events	Signature	Timestamp
Notary Events	Signature	Timestamp
Envelope Summary Events	Status	Timestamps
Envelope Sent	Hashed/Encrypted	6/30/2022 9:00:11 AM
Certified Delivered	Security Checked	7/14/2022 2:09:27 PM
Signing Complete	Security Checked	7/14/2022 2:09:52 PM
Completed	Security Checked	7/14/2022 2:09:52 PM
Payment Events	Status	Timestamps
Electronic Record and Signature Disclosure		

ELECTRONIC RECORD AND SIGNATURE DISCLOSURE

From time to time, Carahsoft OBO King County ITD (we, us or Company) may be required by law to provide to you certain written notices or disclosures. Described below are the terms and conditions for providing to you such notices and disclosures electronically through the DocuSign, Inc. (DocuSign) electronic signing system. Please read the information below carefully and thoroughly, and if you can access this information electronically to your satisfaction and agree to these terms and conditions, please confirm your agreement by clicking the 'I agree' button at the bottom of this document.

Getting paper copies

At any time, you may request from us a paper copy of any record provided or made available electronically to you by us. You will have the ability to download and print documents we send to you through the DocuSign system during and immediately after signing session and, if you elect to create a DocuSign signer account, you may access them for a limited period of time (usually 30 days) after such documents are first sent to you. After such time, if you wish for us to send you paper copies of any such documents from our office to you, you will be charged a \$0.00 per-page fee. You may request delivery of such paper copies from us by following the procedure described below.

Withdrawing your consent

If you decide to receive notices and disclosures from us electronically, you may at any time change your mind and tell us that thereafter you want to receive required notices and disclosures only in paper format. How you must inform us of your decision to receive future notices and disclosure in paper format and withdraw your consent to receive notices and disclosures electronically is described below.

Consequences of changing your mind

If you elect to receive required notices and disclosures only in paper format, it will slow the speed at which we can complete certain steps in transactions with you and delivering services to you because we will need first to send the required notices or disclosures to you in paper format, and then wait until we receive back from you your acknowledgment of your receipt of such paper notices or disclosures. To indicate to us that you are changing your mind, you must withdraw your consent using the DocuSign 'Withdraw Consent' form on the signing page of a DocuSign envelope instead of signing it. This will indicate to us that you have withdrawn your consent to receive required notices and disclosures electronically from us and you will no longer be able to use the DocuSign system to receive required notices and consents electronically from us or to sign electronically documents from us.

All notices and disclosures will be sent to you electronically

Unless you tell us otherwise in accordance with the procedures described herein, we will provide electronically to you through the DocuSign system all required notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to you during the course of our relationship with you. To reduce the chance of you inadvertently not receiving any notice or disclosure, we prefer to provide all of the required notices and disclosures to you by the same method and to the same address that you have given us. Thus, you can receive all the disclosures and notices electronically or in paper format through the paper mail delivery system. If you do not agree with this process, please let us know as described below. Please also see the paragraph immediately above that describes the consequences of your electing not to receive delivery of the notices and disclosures electronically from us.

How to contact Carahsoft OBO King County ITD:

You may contact us to let us know of your changes as to how we may contact you electronically, to request paper copies of certain information from us, and to withdraw your prior consent to receive notices and disclosures electronically as follows:

To contact us by email send messages to: bob.johnson@kingcounty.gov

To advise Carahsoft OBO King County ITD of your new e-mail address

To let us know of a change in your e-mail address where we should send notices and disclosures electronically to you, you must send an email message to us at bob.johnson@kingcounty.gov and in the body of such request you must state: your previous e-mail address, your new e-mail address. We do not require any other information from you to change your email address..

In addition, you must notify DocuSign, Inc. to arrange for your new email address to be reflected in your DocuSign account by following the process for changing e-mail in the DocuSign system.

To request paper copies from Carahsoft OBO King County ITD

To request delivery from us of paper copies of the notices and disclosures previously provided by us to you electronically, you must send us an e-mail to bob.johnson@kingcounty.gov and in the body of such request you must state your e-mail address, full name, US Postal address, and telephone number. We will bill you for any fees at that time, if any.

To withdraw your consent with Carahsoft OBO King County ITD

To inform us that you no longer want to receive future notices and disclosures in electronic format you may:

- i. decline to sign a document from within your DocuSign session, and on the subsequent page, select the check-box indicating you wish to withdraw your consent, or you may;
- ii. send us an e-mail to bob.johnson@kingcounty.gov and in the body of such request you must state your e-mail, full name, US Postal Address, and telephone number. We do not need any other information from you to withdraw consent.. The consequences of your withdrawing consent for online documents will be that transactions may take a longer time to process..

Required hardware and software

Operating Systems:	Windows® 2000, Windows® XP, Windows Vista®; Mac OS® X
Browsers:	Final release versions of Internet Explorer® 6.0 or above (Windows only); Mozilla Firefox 2.0 or above (Windows and Mac); Safari™ 3.0 or above (Mac only)
PDF Reader:	Acrobat® or similar software may be required to view and print PDF files
Screen Resolution:	800 x 600 minimum

Enabled Security Settings:	Allow per session cookies
----------------------------	---------------------------

** These minimum requirements are subject to change. If these requirements change, you will be asked to re-accept the disclosure. Pre-release (e.g. beta) versions of operating systems and browsers are not supported.

Acknowledging your access and consent to receive materials electronically

To confirm to us that you can access this information electronically, which will be similar to other electronic notices and disclosures that we will provide to you, please verify that you were able to read this electronic disclosure and that you also were able to print on paper or electronically save this page for your future reference and access or that you were able to e-mail this disclosure and consent to an address where you will be able to print on paper or save it for your future reference and access. Further, if you consent to receiving notices and disclosures exclusively in electronic format on the terms and conditions described above, please let us know by clicking the 'I agree' button below.

By checking the 'I agree' box, I confirm that:

- I can access and read this Electronic CONSENT TO ELECTRONIC RECEIPT OF ELECTRONIC RECORD AND SIGNATURE DISCLOSURES document; and
- I can print on paper the disclosure or save or send the disclosure to a place where I can print it, for future reference and access; and
- Until or unless I notify Carahsoft OBO King County ITD as described above, I consent to receive from exclusively through electronic means all notices, disclosures, authorizations, acknowledgements, and other documents that are required to be provided or made available to me by Carahsoft OBO King County ITD during the course of my relationship with you.