

AMENDED EXHIBIT – B

NAF's Master Plan and Proposed List of Capital Improvements

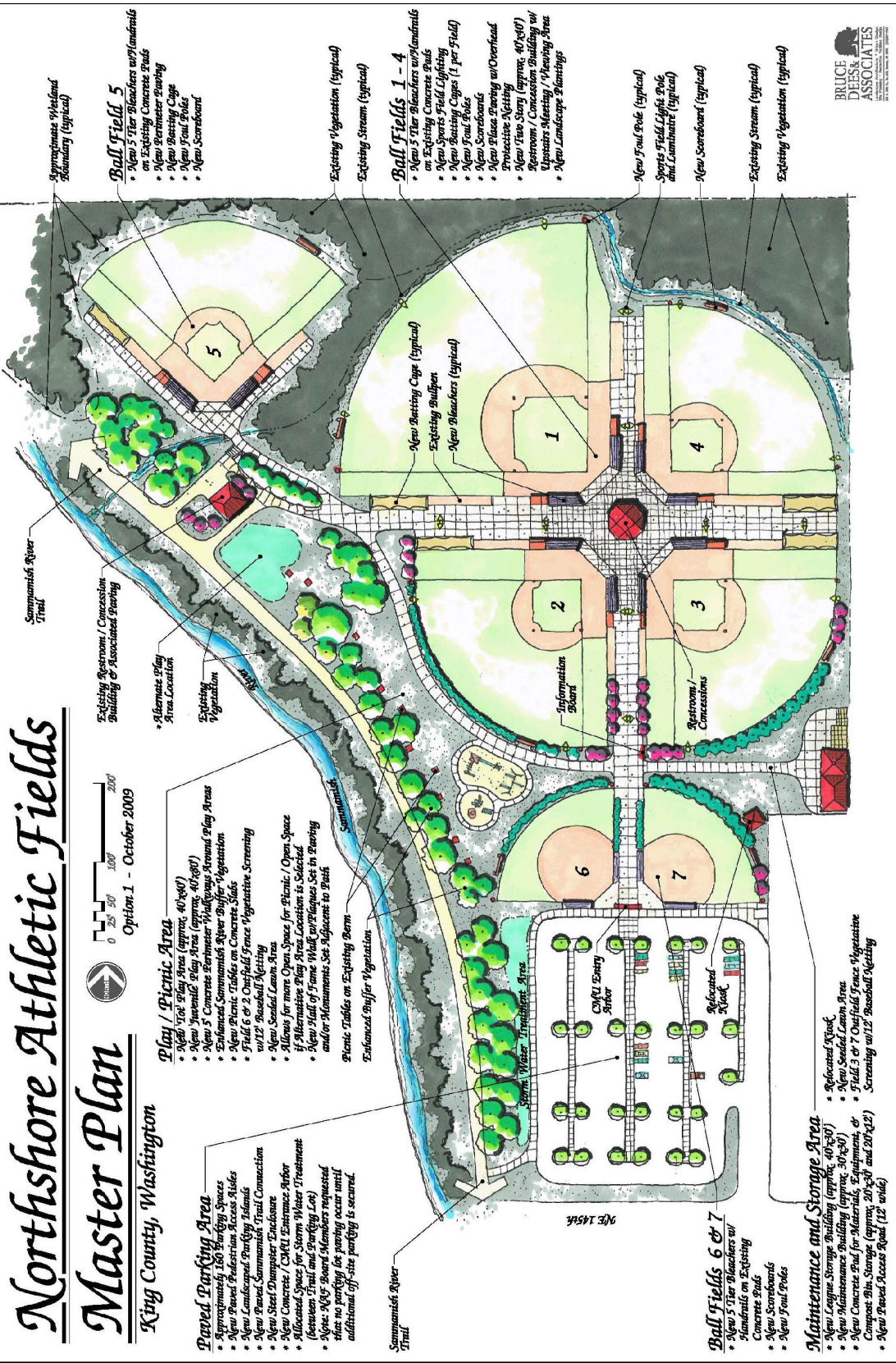


EXHIBIT – B

NAF’s Master Plan and Proposed List of Capital Improvements

IMPROVEMENT PROJECT	BUDGET
<p>Restroom/Concession Building (sample drawing; CXT Precast Products)</p>	<p>\$250,000</p>
<p>Batting Cages (sample image represents a dual bullpen, 80’ x 30’ structure)</p>	<p>\$20,000</p>

EXHIBIT – B

Schedule (NAF's Proposed Timing and Sequence of Capital Improvements)

<div style="display: flex; justify-content: space-between;"> <div style="width: 25%;"> <p>Maintenance Building</p> <div style="border: 1px solid black; padding: 5px; margin-bottom: 10px;"> <p>(58") RIDGE CAP 1</p> <p>(100") ROOF STRAIGHT 2</p> <p>(95") EAVE PANELS 2</p> <p>(65") VERTICAL STRAIGHT 2</p> </div> </div> <div style="width: 70%; text-align: right; vertical-align: middle;"> <p style="font-size: 24pt; margin: 0;">\$25,000</p> </div> </div>	
Electrical (upgrade to code)	\$15,000
Picnic Area & Kids Play Structure	\$50,000
Field—1 Bleachers	\$15,000
Walkway / Accessibility	\$50,000
Entry	\$15,000
Infield Turf and/or Fencing / Backstops / Netting	\$350,000 \$100,000

NORTHSHORE ATHLETIC FIELDS RENOVATION

WOODINVILLE, WASHINGTON

GRADING PERMIT SET

PROJECT 2018-06

LANDSCAPE ARCHITECT:

SANDERSON STEWART
 CONTACT: ERIK J. SWEET, ASLA, RLA
 1300 N Transtech Way, Billings, MT, 59102
 P(406) 869-3344
 C (425) 766-9535

CIVIL ENGINEER:

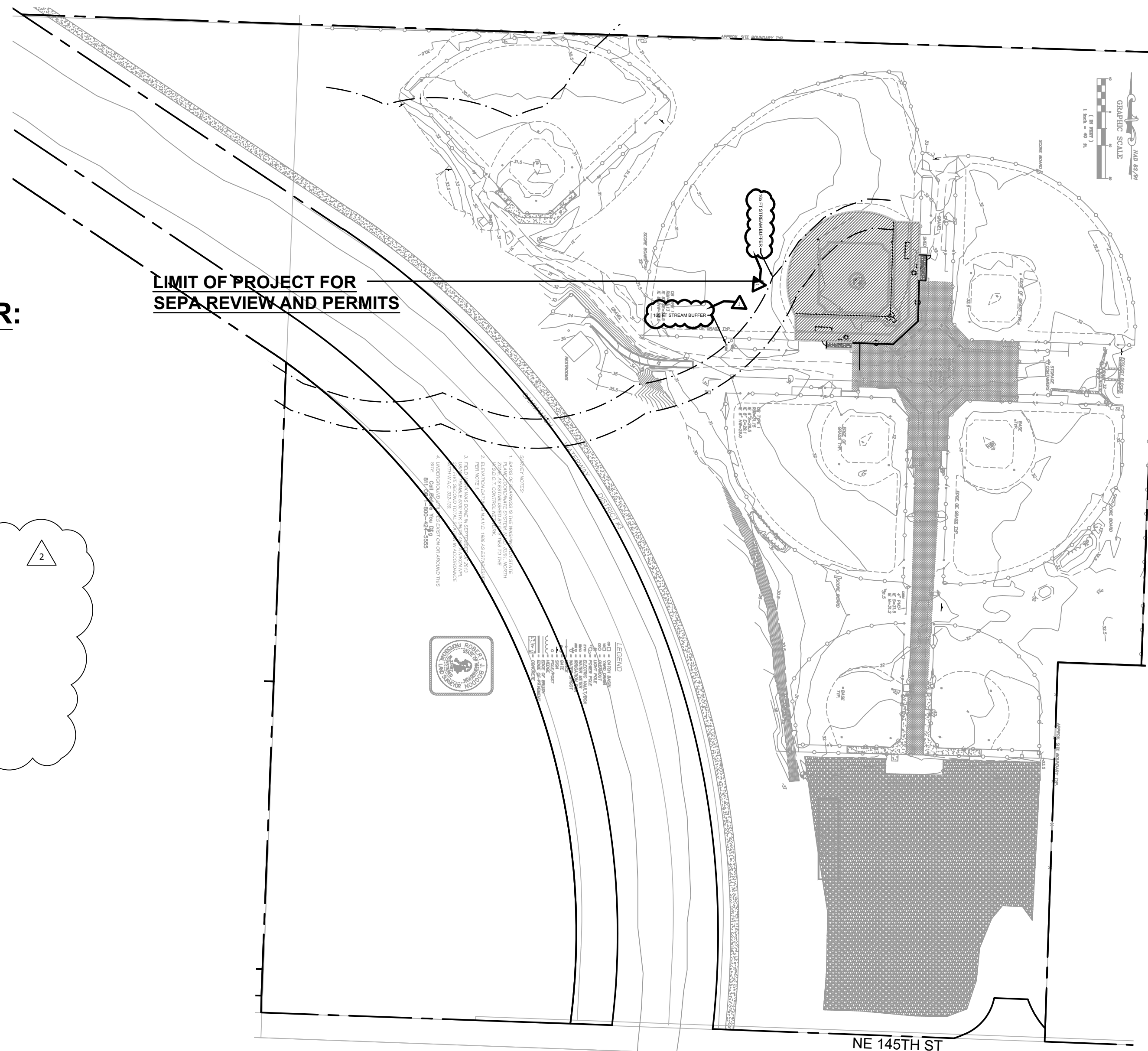
DAVID EVANS & ASSOCIATES
 CONTACT: Robert Jefferson, P.E.
 2106 Pacific Ave, Suite 400
 Tacoma, WA 98402
 P (253)250-0634

GEOTECHNICAL ENGINEER:

ASSOCIATED EARTH SCIENCES
 CONTACT: MATT MILLER
 911 5th Ave.
 Kirkland, WA 98033
 P(425) 827-7701
 F(425) 827-5424

STRUCTURAL ENGINEER:

LYVER ENGINEERING AND DESIGN, LLC
 CONTACT: TROY D. LYVER, PE/SE
 7950 SE 106th Ave,
 Portland, OR 97266
 P(503) 705-5283



VICINITY MAP
 SCALE: 1"=100'-0"

DRAWING INDEX:

- G1 COVER SHEET
- G2 ADJOINING PARCELS
- S1 STRUCTURAL NOTES
- EX1 EXISTING CONDITIONS
- L0 OVERALL SITE PLAN
- L1 DEMOLITION PLAN
- L2 GRADING PLAN
- L3 FIELD DRAINAGE PLAN
- L4 SURFACE LAYOUT PLAN
- L5 FIELD DETAILS
- L6 FIELD DETAILS
- L7 FIELD DETAILS
- C1.0 TESC & DEMOLITION PLAN
- C1.1 TESC NOTES & DETAILS
- C2.0 STORM DRAINAGE PLAN
- C3.0 NOTES & DETAILS

PARCEL NO : 152605-9070

LEGAL DESCRIPTION:

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF&CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595

Site Plan Approval
 Approval of these plans is for construction of road and drainage improvements, site drainage & grading and temporary erosion control in unincorporated King County only. These plans do not authorize any other utility approval or improvements proposed in any State right of way.
 Site plan approval is void if the commercial building permit has not been obtained or renewed within two years of approval.
 Subdivision plan approval is void if the final plat is not recorded prior to the preliminary plat approval expiration.

PRO RATA SHARE ASSESSMENT ANALYSIS
 (County Use Only)

Section	Township	Range	Tax Parcel	Number

Site Location is within the _____ drainage shed(s)
 Pro Rata Share Assessment(s) are: Required Not Required from the site due to development for increased storm water runoff.
 Peak Runoff Assessment Rate(\$ _____) per c.f.s. increases.(10 year, 2 hour storm)
 Peak Volume Assessment Rate(\$ _____) per Ac. Ft. increases.(2 year, 2 hour storm)

AGREEMENTS, PLAN REFERENCES, PERMITS ETC.
 (To be completed by Consultant)

Preliminary Plat Approval/Permit Issued Date: _____
 Expiration Date: _____
 Other Related Permit Numbers Received:
 Right-of-Way Use Permit _____
 Grading _____
 Building/Structural _____
 Other _____

Board feet of tree removal on site: _____
 Cubic yards of material hauled on/off the site: _____
 Is this a highly sensitive area site? (Yes/No): _____
 Note: If "yes", per SWDM Appendix D44 a Highly Sensitive Site Erosion Control Supervisor is required. See ESC plan.

Emergency
 911
 Police-Fire-Rescue

RECOMMENDED FOR APPROVAL
 (To be completed by King County)

Date _____

Review Engineer _____
 Senior Engineer _____
 Traffic & Planning Engineer _____
 Sensitive Areas _____
 Structural Review Engineer _____
 Other _____

King County
 APPROVED FOR CONSTRUCTION
 DEPARTMENT OF DEVELOPMENT & ENVIRONMENTAL SERVICES

Date _____ Molly A. Johnson, P.E.
 Development Engineer

PROJECT CONTACT INFORMATION
 (To be completed by Consultant)

Northshore Athletic Fields

Applicant Contact Owner/Leasee
 Name _____ Phone _____
 12900 NE 180th Street, Bothell, WA 98011
 Address and Zip Code _____

Ownership
 KING COUNTY - Parks and Recreation Division
 Name _____ Phone _____
 201 S Jackson St, Seattle, WA 98077
 Address and Zip Code _____

Certified Surveyor/Engineer
 SANDERSON STEWART
 Erik J. Sweet, ASLA, RLA 425-766-9535
 Name _____ Phone _____
 1300 N Transtech Way, Billings, MT 59102
 Address and Zip Code _____

Notice Required
 Contractors shall notify operators who maintain underground utility lines in the area of proposed excavation or blasting at least two business days, but not more than ten working days prior to commencement of excavation or demolition in accordance with RCW Title 19. Names and telephone numbers of the operators of underground utility lines in this project appear below. These numbers shall also be used to serve in an emergency conditions as required.

	Phone
Sanitary Sewer	_____
Water District	_____
Gas Company	_____
Power Company	_____

Call Before You Dig DIAL-A-DIG 1-800-424-5555

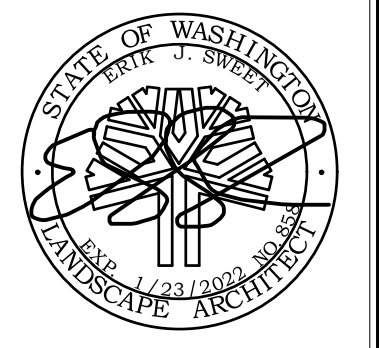
Notes

- The Developer is required to notify the Land Use Services Division, Land Use Inspection Section (206) 296-8842, three days prior to the beginning of construction for a preconstruction conference and specifically request inspection before beginning:
 - A. Installing siltation and erosion control measures
 - B. Clearing and grubbing
 - C. Earthwork
 - D. Installation of any underground utility
 - E. Before placing subbase, base or paving surfaces
 - F. Installation of any forms or placing any concrete
- A permit must be obtained from the office of the Resident Engineer, Washington State Department of Transportation, before any construction is started on any existing state route.
- A Hydraulic Project Approval (HPA) Permit must be obtained from the Washington State Department of Fisheries prior to any work when required.

Bonding Information
 Restoration Bond Amount \$ _____



PERMIT RESUBMITTAL 2-18-2022



NORTHSHORE ATHLETIC FIELDS
 FIELD RENOVATIONS
 NORTHSHORE ATHLETIC FIELDS CORPORATION
 14735 NE 145TH ST WOODINVILLE, WA 98072

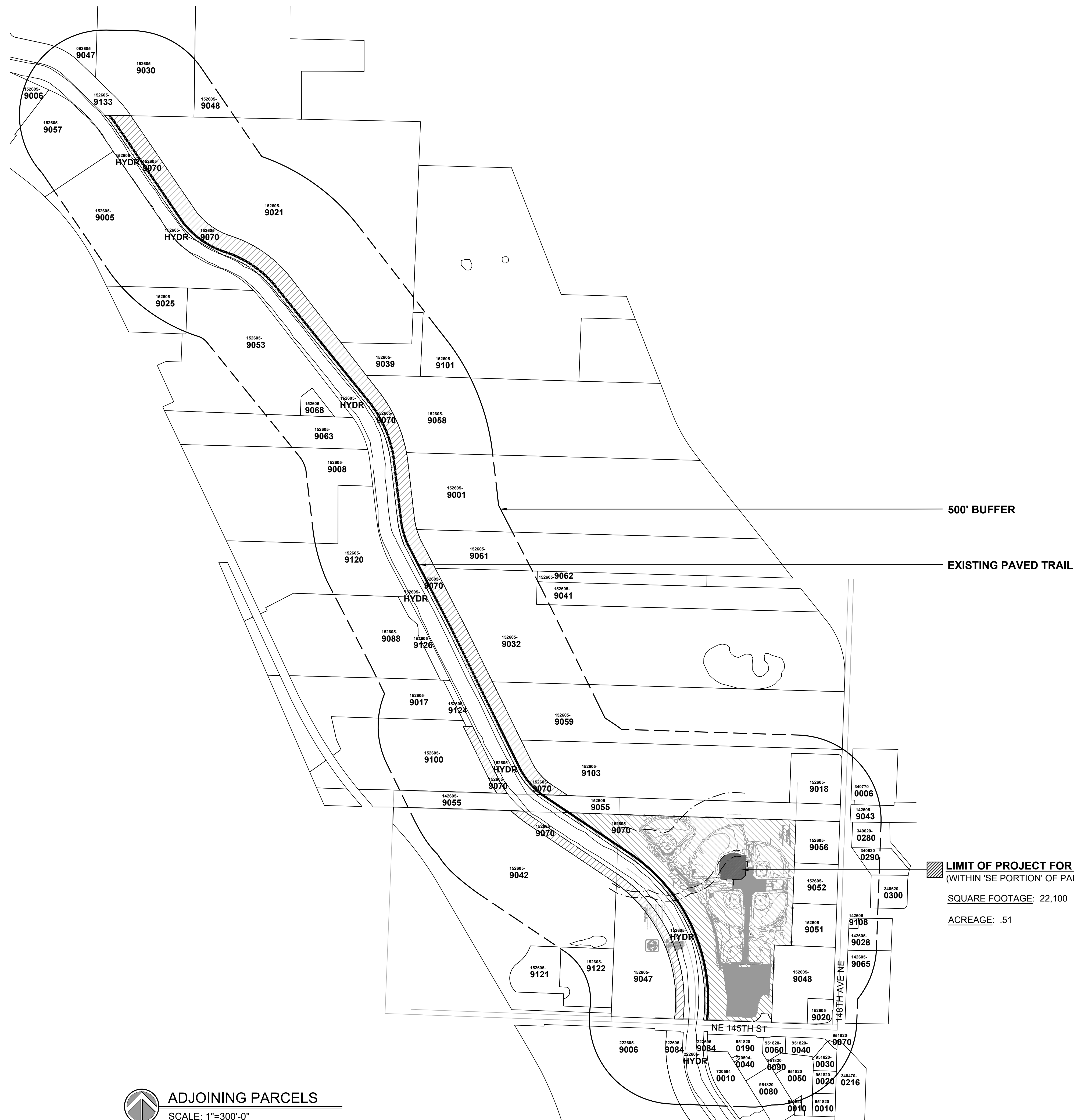
SANDERSON STEWART
 Enduring Community Design

Drawing:
 COVER SHEET

Date: 06/02/2020
 Job #: 20025
 Scale: 1"=100'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions: _____

PERMIT SET REVISIONS

Sheet:
 G1



500' BUFFER

EXISTING PAVED TRAIL

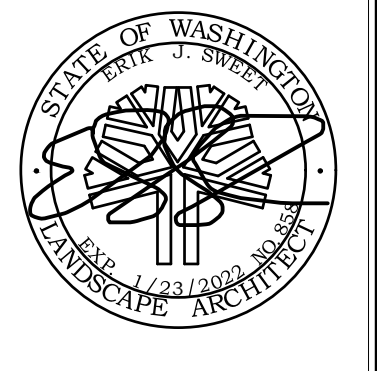
LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS
 (WITHIN 'SE PORTION' OF PARCEL 152605-9070)

SQUARE FOOTAGE: 22,100

ACREAGE: .51

ADJOINING PARCELS
 SCALE: 1"=300'-0"

CALL BEFORE YOU DIG
 Call: TOLL FREE
 1-800-424-5555



**NORTHSHORE ATHLETIC FIELDS
 FIELD RENOVATIONS**
 NORTHSHORE ATHLETIC FIELDS CORPORATION
 14725 NE 145TH ST WOODINVILLE, WA 98072

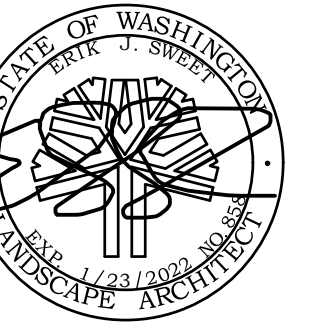


Drawing:
**ADJOINING
 PARCELS**

Date: 06/05/2020
 Job #: 20025
 Scale: 1"=300'-0"
 Design: EJSW
 Drawn: JWC
 Check: MM
 Revisions:

PERMIT SET REVISIONS

Sheet:
G2



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawn:

COVER SHEET

Date: 06/02/2020

Job #: 20025

Scale: 1"=100'-0"

Design: EJSW

Drawn: JWC

Check: MM

Revisions:

PERMIT SET REVISIONS

Sheet:

S1

PROJECT STRUCTURAL NOTES

GENERAL INFORMATION:

1. THE CONTROLLING DESIGN CODE IS THE 2018 IBC WITH CURRENT STATE OF WASHINGTON AMENDMENTS..
2. THE PROJECT WAS DESIGNED FOR THE FOLLOWING LOADS:
 - A. SOIL DESIGN VALUES: ASSOCIATED EARTH SCIENCES, DATED SEPTEMBER 15, 2014 AND REVISED FEBRUARY 9, 2022) - PROJECT #20140453E001.
 - ALLOWABLE BEARING: 1500 PSF WITH 3/4" INC FOR WL/EQ
 - PASSIVE PRESSURE: 150 PCF WITH 3/4" INC FOR WL/EQ
 - B. WIND LOAD: 100 MPH EXPOSURE B (130 MPH ULTIMATE) (USE 25% OF SURFACE AREA OF NETTING w/ GLAZE ICE BUILD UP)
 - C. SEISMIC LOAD: SITE CLASSIFICATION 'D'
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCING WORK.
4. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW OF A.O.R. AND E.O.R.

SPECIAL INSPECTION:

1. SPECIAL INSPECTION REQUIRED SHALL BE PROVIDED PER IBC CHAPTER 17.
2. SPECIAL INSPECTION IS REQUIRED AS FOLLOWS:
 - A. REINFORCING STEEL SHALL BE INSPECTED PERIODICALLY DURING INSTALLATION TO VERIFY SIZE AND LOCATION.
 - B. MASONRY OPERATIONS SHALL BE INSPECTED PER CHAPTER 17 AND LOCAL JURISDICTION.
 - C. CONCRETE SHALL BE INSPECTED CONTINUOUSLY DURING PLACEMENT. INSPECTOR SHALL MAKE CONCRETE CYLINDERS AND TEST 3 CYLINDERS FOR EVERY 100 YARDS OF CONCRETE POURED, OR FOR EACH DAY'S POUR. THE CYLINDERS SHALL BE TESTED AT 7 DAY, 28 DAY AND 1 YEAR FOR CONTROL.
 - D. ALL INSPECTION REPORTS SHALL BE DISTRIBUTED TO THE OWNER, ARCHITECT, ENGINEER, AND PERMIT AGENCY. THE INSPECTOR SHALL PROVIDE A SUMMARY LETTER OF PROJECT COMPLETION.

FOUNDATIONS:

1. FENCE POSTS TO BE EMBEDDED IN CONCRETE PIERS.

REINFORCING STEEL:

1. REINFORCING IS NOT REQUIRED FOR THESE FOUNDATIONS. IF REINFORCING IS ADDED, THEN ALL INSTALLATION AND USE SHALL BE GOVERNED BY THE CURRENT EDITION OF ACI 318.

CONCRETE:

1. ALL CONCRETE SHALL DEVELOP A MINIMUM 28 DAY LAB CURED COMPRESSIVE STRENGTH OF 3000 PSI.
2. ALL EXPOSED CONCRETE TO HAVE 5% +/- 1% AIR, BY VOLUME, CONFORMING TO ASTM C 260.

FRAMING LUMBER:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH AND SHALL BE GRADED UNDER THE MOST RECENTLY ADOPTED RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB).
2. ALL BEAMS AND JOISTS SHALL BE NUMBER 2 (UNLESS NOTED OTHERWISE).
3. ALL STUDS AND BLOCKING SHALL BE NUMBER 2.
4. ALL LUMBER IN CONTACT WITH CONCRETE OR EXPOSED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWP STANDARD C-2 AND SHALL BEAR THE AWP QUALITY MARK. FIELD CUTS, NOTCHES AND DRILLED HOLES OF PRESSURE TREATED MEMBERS SHALL BE RETREATED IN THE FIELD IN ACCORDANCE WITH AWP M4
5. ALL FRAMING CONNECTIONS TO BE MADE WITH SIMPSON FRAMING HARDWARE. COORDINATE SELECTION W/ ENGINEER PRIOR TO CONSTRUCTION. FASTENERS FOR PRESSURE OR FIRE RETARDANT TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.

PLYWOOD SHEATHING:

1. ALL PLYWOOD SHALL BE C-D GRADE WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH THE UNITED STATES PRODUCT STANDARD PS 1-83/ANSI A199.1 "FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD" AND SHALL CONFORM TO UBC STANDARD 23-2 AND SHALL BEAR THE APA TRADEMARK OF THE APA. PLYWOOD SHALL BE LAID WITH END JOINTS STAGGERED.
2. BLOCK ALL SHEAR WALL SHEATHING WITH 2X BLOCKING AT ALL EDGES.
3. ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED.
5. OSB MAY BE SUBSTITUTED FOR PLYWOOD WITH SAME SPAN RATING.

TIMBER FASTENERS:

1. ALL TIMBER MATERIAL SHALL BE FASTENED PER IBC TABLE 2304.9.1, "FASTENING SCHEDULE" U.N.O.

STRUCTURAL STEEL AND MISCELLANEOUS IRON:

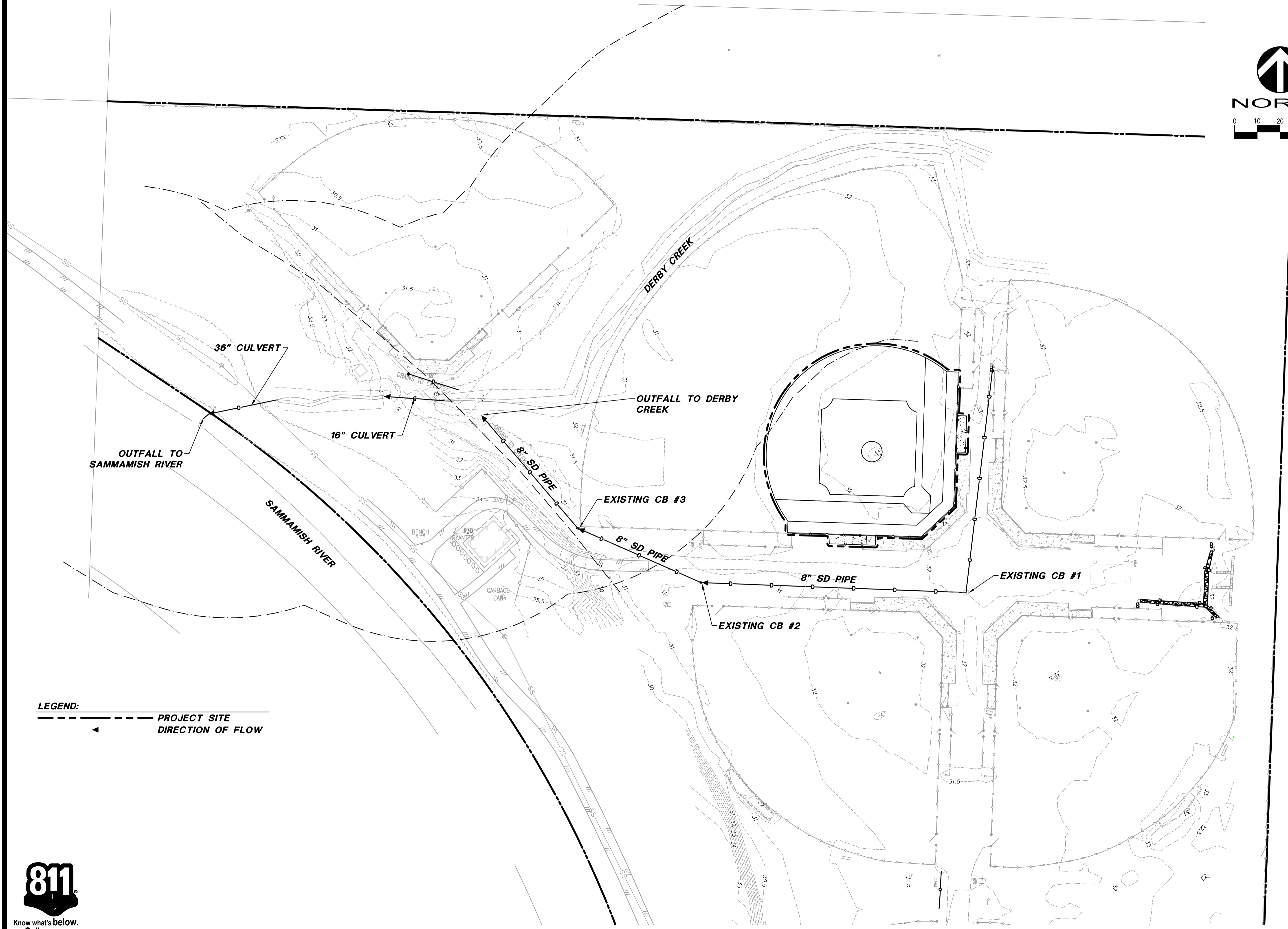
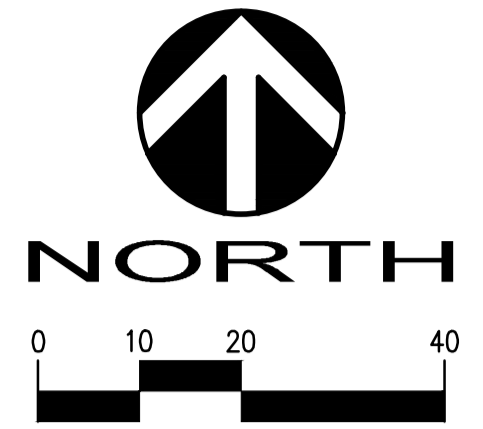
STRUCTURAL STEEL SHALL BE:

ASTM A500, GRADE B (Fy=42 KSI) HOLLOW STRUCTURAL SECTIONS (PIPES)
OPTIONAL FENCE PIPE SS40 PER MANUFACTURER SPECIFICATIONS

1. DESIGN, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE "AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" WITH "COMMENTARY" AND THE "CODE OF STANDARD PRACTICE", WITH EXCEPTIONS NOTED IN SPECIFICATIONS.
2. DRAWINGS ARE DIMENSIONED FOR LAYOUT AND NOT DIMENSIONED PER AISC STANDARDS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE BETWEEN ALL DRAWINGS AND DEVELOP SHOP DRAWINGS WITH DETAIL AND DIMENSIONING PER AISC.
3. ALL FABRICATION, ERECTION, IDENTIFICATION, AND PAINTING SHALL CONFORM TO AISC SPECIFICATIONS.
4. ALL STEEL EXPOSED TO WEATHER, SOIL, MOISTURE, OR AS DENOTED ON PLANS SHALL BE HOT DIP GALVANIZED PER ASTM A-123, OR OTHER APPROVED PROTECTIVE COATING.
5. ALL WELDING SHALL CONFORM TO AWS (LATEST EDITION) SPECIFICATIONS.
 - A. ALL WELDERS TO BE QUALIFIED UNDER AWS SPECIFICATIONS WITHIN THE PAST TWO YEARS FOR THE TYPE OF WELDING PERFORMED.
 - B. ALL WELDS SHALL BE PERFORMED USING PRE-QUALIFIED WELDING PROCEDURES.
 - C. WELDS FILLER METAL SHALL BE AWS A5.1 OR A5.5 E70XX ELECTRODES OR AWS A5.18 ER70S-X.
 - D. AFTER FABRICATION, BUT BEFORE INSTALLATION, REMOVE RUST, SCALE, GREASE, AND OIL BY WIRE BRUSHING AND CHEMICAL TREATMENT.
 - E. WELDING OF REINFORCING STEEL SHALL BE AS SPECIFIED IN THESE STRUCTURAL NOTES UNDER "CONCRETE REINFORCING STEEL".
6. ALL HIGH-STRENGTH BOLTS, MATERIAL AND INSTALLATION, SHALL CONFORM WITH ASTM STANDARDS.
 - A. BOLTS SHALL CONFORM WITH ASTM A 325, TYPE N. BOLTS NOT NOTED IN THE DRAWINGS AS TYPE SC SHALL BE TYPE N
 - B. FOR BEARING-TYPE CONNECTIONS, TYPE N, BOLTS SHALL BE TIGHTENED TO A SNUG TIGHT CONDITION, ONLY.
 - E. ALL HIGH-STRENGTH BOLTS SHALL BE INSTALLED WITH HARDENED WASHERS, CONFORMING WITH ASTM F 436, AND NUTS, CONFORMING WITH ASTM A 563.
 - F. ALL BOLTS REQUIRING GALVANIZATION SHALL BE HOT-DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A 153, CLASS C.
- G. NO WELDING TO HIGH-STRENGTH BOLTS IS ALLOWED.
7. ALL MEMBERS SHALL BE CONNECTED WITH SEMI-FINISHED MACHINE BOLTS, UNLESS NOTED OTHERWISE ON PLANS. MACHINE BOLTS SHALL CONFORM TO ASTM A 307, GRADE A.
8. BOLT HEADS OR NUTS BEARING ON SLOPING FLANGES SHALL BE EQUIPPED WITH BEVELED WASHERS.
9. ERECTION AIDS (SUCH AS BOLTS, CLIPS, SHIMS, SEATS OR ANY OTHERS REQUIRED TO FACILITATE CONSTRUCTION) ARE THE RESPONSIBILITY OF THE CONTRACTOR TO DESIGN AND PROVIDE.
10. ALL FIELD WELDS TO GALVANIZED STEEL AND AREAS DAMAGED BY WELDING, FLAME CUTTING OR HANDLING, SHALL BE REPAIRED WITH AN ORGANIC COLD GALVANIZING COMPOUND HAVING A MINIMUM OF NINETY-FOUR PERCENT (94%) ZINC DUST IN THE DRY FILM. APPLY IN MULTIPLE COATS, UNTIL AN 8 MIL THICKNESS HAS BEEN ACHIEVED. SURFACES TO RECEIVE ZINC-RICH PAINT SHALL BE CLEAN, DRY AND FREE OF OIL, GREASE, SALT AND CORROSION PRODUCTS.



DAVID EVANS
AND ASSOCIATES INC.
20300 Woodinville Shoshomish Rd NE
Woodinville Washington 98072
Phone: 425.415.2000



LEGEND:
 PROJECT SITE
 DIRECTION OF FLOW

DOWNSTREAM ANALYSIS SITE MAP
 SLA LANDSCAPE ARCHITECTS
NORTHSHORE ATHLETIC FIELDS
 KING COUNTY WA

NO.	DATE	REVISION	BY	DATE
1				

DESIGNED: RFL
 CAD: MAS

PROGRESS SET

STAMP NOT VALID
UNLESS SIGNED AND DATED

FIRST SUBMITTAL DATE: JULY 2019
 SCALE: HORIZ: --- VERT: ---

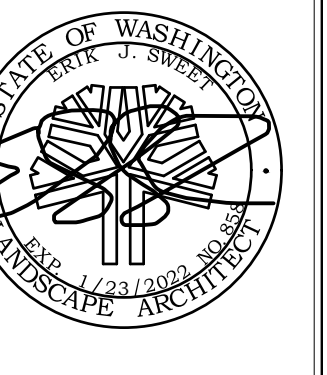
PROJECT NO.
SLAL0000004

SHEET NO.
EX-1

OF **1**

Plot Date: 7/31/2019 12:35 PM
 Save Date: 7/31/2019 12:33 PM
 By: Michael Stewart
 File: P:\S\SLA\00000004\0400\AD\EC\H\B\T\Downstream Analysis Site Map.dwg





**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**OVERALL
SITE PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=40'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:



Sheet:

LO

PROJECT DOES NOT
ENCROACH INTO 165' DERBY
CREEK SETBACK

**LIMIT OF PROJECT FOR
SEPA REVIEW AND PERMITS**
22,100 SQUARE FEET (0.50)

1
L5
SYNTHETIC TURF

EXISTING 26'X30' CXT RESTROOM
BUILDING

EXISTING ASPHALT PAVING PLAZA

EXISTING MAINTENANCE BUILDING
TO REMAIN

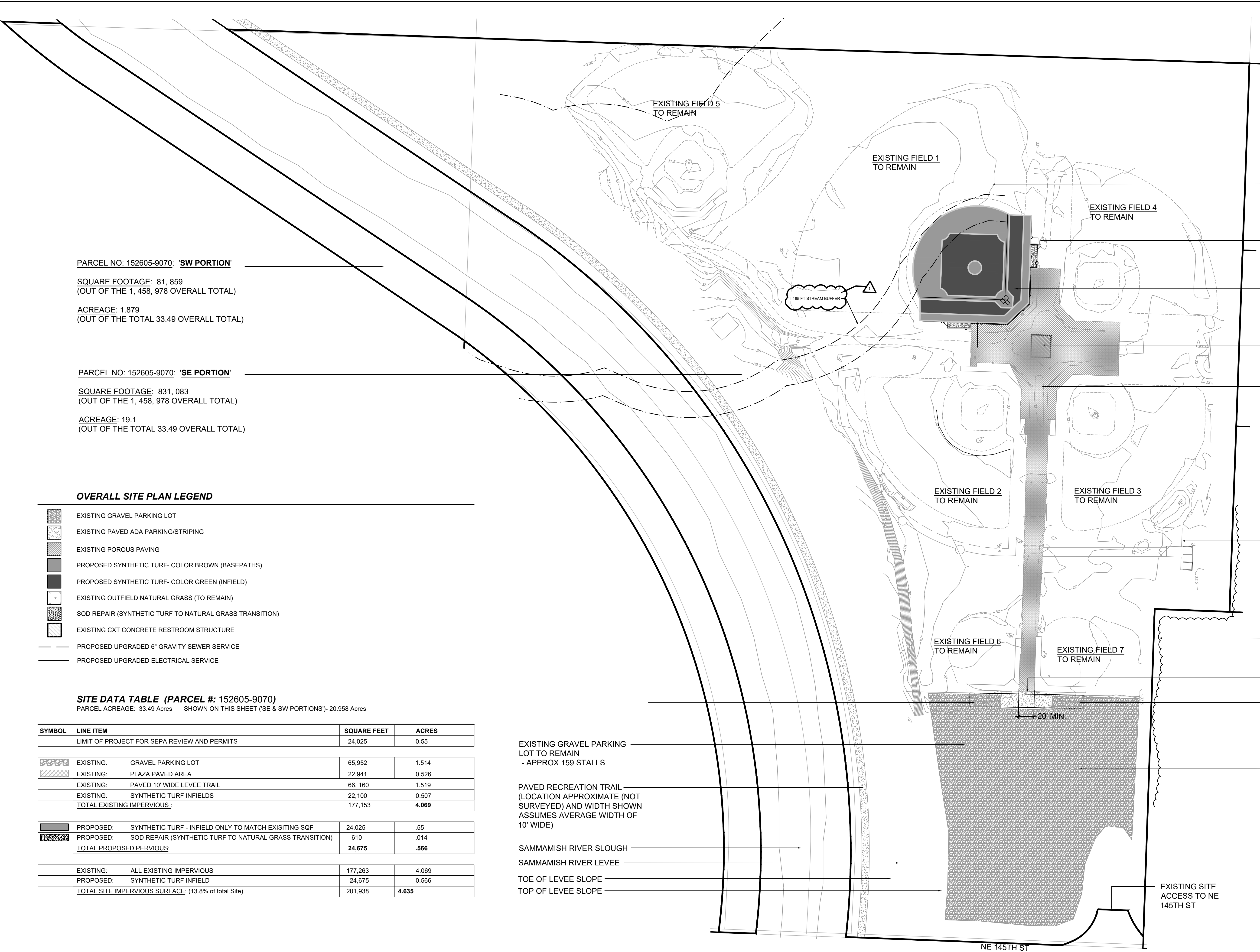
EXISTING VEGETATION ON
ADJACENT PROPERTY TO REMAIN

FIRE ACCESS LANE TO REMAIN
CLEAR

(4) ADA ACCESSIBLE
PARKING SPACES - (PAVED)

EXISTING KING COUNTY
PARKING LOT TO REMAIN

EXISTING SITE
ACCESS TO NE
145TH ST



PARCEL NO: 152605-9070: 'SW PORTION'
SQUARE FOOTAGE: 81, 859
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 1.879
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

PARCEL NO: 152605-9070: 'SE PORTION'
SQUARE FOOTAGE: 831, 083
(OUT OF THE 1, 458, 978 OVERALL TOTAL)
ACREAGE: 19.1
(OUT OF THE TOTAL 33.49 OVERALL TOTAL)

OVERALL SITE PLAN LEGEND

- EXISTING GRAVEL PARKING LOT
- EXISTING PAVED ADA PARKING/STRIPING
- EXISTING POROUS PAVING
- PROPOSED SYNTHETIC TURF- COLOR BROWN (BASEPATHS)
- PROPOSED SYNTHETIC TURF- COLOR GREEN (INFIELD)
- EXISTING OUTFIELD NATURAL GRASS (TO REMAIN)
- SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)
- EXISTING CXT CONCRETE RESTROOM STRUCTURE
- PROPOSED UPGRADED 6" GRAVITY SEWER SERVICE
- PROPOSED UPGRADED ELECTRICAL SERVICE

SITE DATA TABLE (PARCEL #: 152605-9070)

PARCEL ACREAGE: 33.49 Acres SHOWN ON THIS SHEET ('SE & SW PORTIONS')- 20.958 Acres

SYMBOL	LINE ITEM	SQUARE FEET	ACRES
	LIMIT OF PROJECT FOR SEPA REVIEW AND PERMITS	24,025	0.55
	EXISTING: GRAVEL PARKING LOT	65,952	1.514
	EXISTING: PLAZA PAVED AREA	22,941	0.526
	EXISTING: PAVED 10' WIDE LEVEE TRAIL	66,160	1.519
	EXISTING: SYNTHETIC TURF INFIELDS	22,100	0.507
	TOTAL EXISTING IMPERVIOUS:	177,153	4.069
	PROPOSED: SYNTHETIC TURF - INFIELD ONLY TO MATCH EXISTING SQF	24,025	.55
	PROPOSED: SOD REPAIR (SYNTHETIC TURF TO NATURAL GRASS TRANSITION)	610	.014
	TOTAL PROPOSED PERVIOUS:	24,675	.566
	EXISTING: ALL EXISTING IMPERVIOUS	177,263	4.069
	PROPOSED: SYNTHETIC TURF INFIELD	24,675	0.566
	TOTAL SITE IMPERVIOUS SURFACE: (13.8% of total Site)	201,938	4.635

EXISTING GRAVEL PARKING
LOT TO REMAIN
- APPROX 159 STALLS

PAVED RECREATION TRAIL
(LOCATION APPROXIMATE (NOT
SURVEYED) AND WIDTH SHOWN
ASSUMES AVERAGE WIDTH OF
10' WIDE)

SAMMAMISH RIVER SLOUGH

SAMMAMISH RIVER LEVEE

TOE OF LEVEE SLOPE

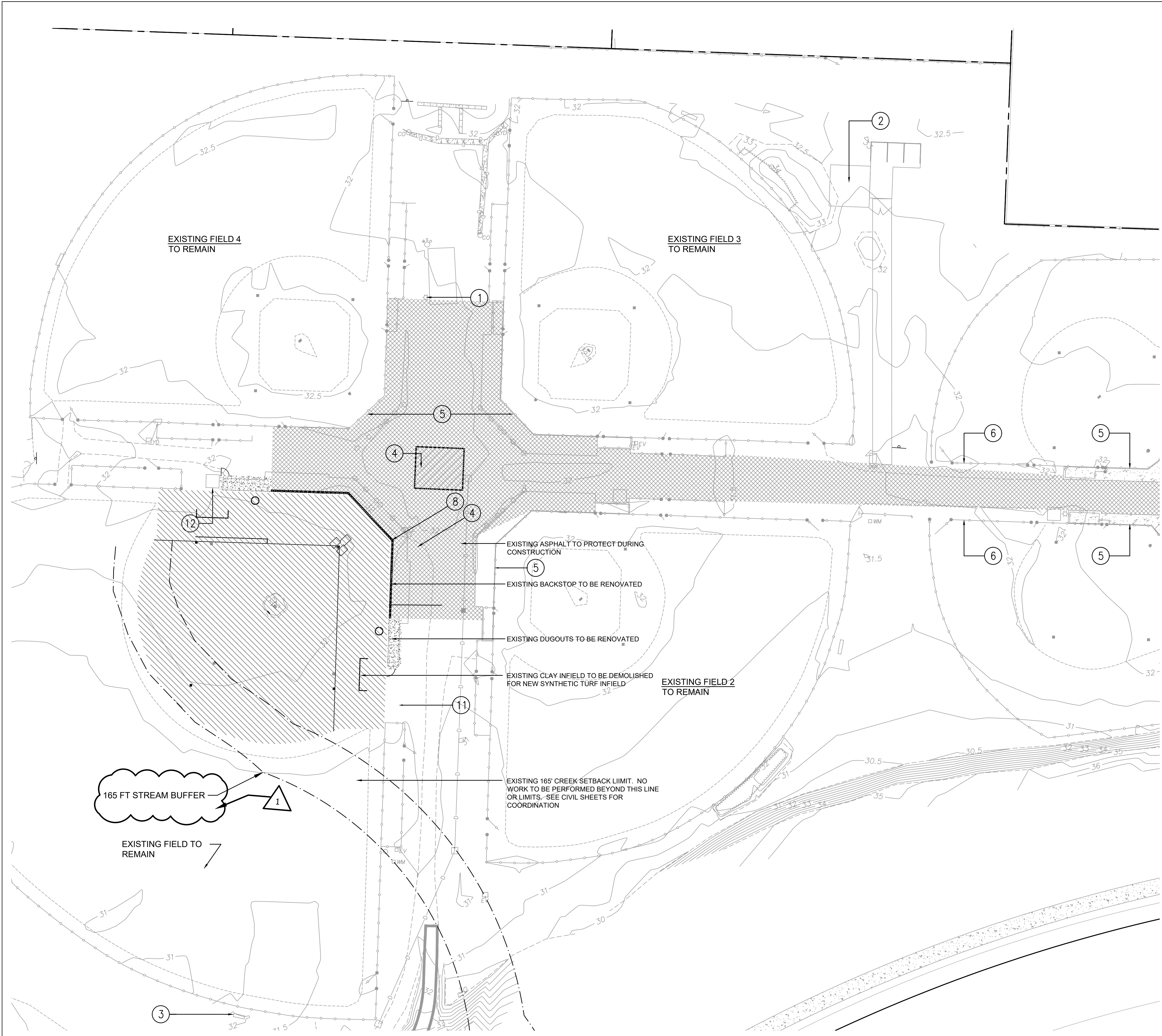
TOP OF LEVEE SLOPE

NE 145TH ST

OVERALL SITE PLAN
SCALE: 1"=60'-0"



PERMIT RESUBMITTAL 2-18-2022



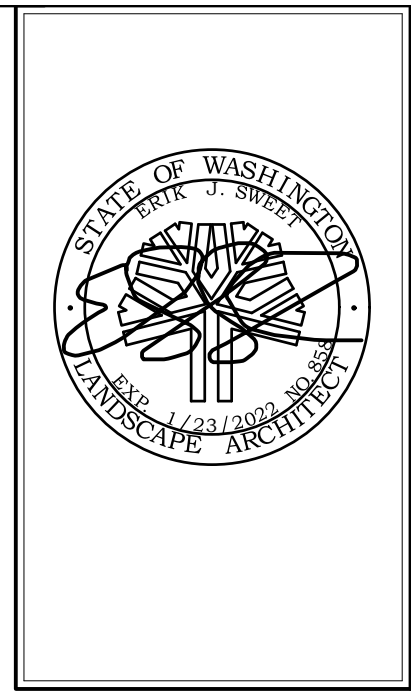
- DEMOLITION/TEC LEGEND**
- PARCEL LINE (PROPERTY LINE)
 - PROPOSED LIMIT OF WORK
 - LIMITS OF FIELD RENOVATION
 - x- EXISTING FENCE TO REMOVE
 - [Hatched Box] EXISTING INFIELD TO BE STRIPPED AND HAULED OFF SITE; LIMIT OF WORK TO MATCH SURFACE LAYOUT PLAN & 3' SEED REPAIR OFFSET OF TURF EDGE
 - [Cross-hatched Box] EXISTING ASPHALT TO PROTECT

- DEMOLITION/TEC NOTES**
- ① EXISTING LIGHT POLES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ② EXISTING RESTROOM BUILDING TO REMAIN AND BE PROTECTED DURING CONSTRUCTION.
 - ③ EXISTING SCOREBOARD IN LEFT CENTER TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ④ EXISTING ASPHALT PAVEMENT TO BE PROTECTED. CONTRACTOR SHALL TAKE PICTURES OF ALL AREAS THAT MAY APPEAR DAMAGED AND NOTIFY LANDSCAPE ARCHITECT
 - ⑤ EXISTING BACKSTOP FENCE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ⑥ EXISTING SIDELINE FENCE/GATES TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
 - ⑦ STRIP AND DISPOSE OF EXISTING NATURAL GRASS FIELDS WHERE NOTED.
 - ⑧ SAWCUT, REMOVE AND DISPOSE OF EXISTING PAVING AS INDICATED
 - ⑨ WHERE NOTED, ADJUST LOCATION OF IRRIGATION HEADS TO NEW EDGE OF SYNTHETIC TURF SYSTEM. COORDINATE WITH OWNERS MAINTENANCE STAFF.
 - ⑩ ANY DAMAGE TO THE AFOREMENTIONED "EXISTING ITEMS" NOTED "TO REMAIN AND BE PROTECTED DURING CONSTRUCTION" TO BE REPLACED AT EQUAL/GREATER VALUE AT CONTRACTOR'S EXPENSE.
 - ⑪ CONTRACTOR TO PROTECT EXISTING SEPTIC TANKS AND SYSTEM ADJACENT TO DUGOUT

- NOTES**
1. SEE SHEET L0 FOR PROJECT LIMITS FOR PERMITS.
 2. CONTRACTOR TO CLEARLY MARK STREAMWETLAND BUFFER AND LEAVE UP FOR LENGTH OF PROJECT.
 3. CONTRACTOR TO TURN OVER IRRIGATION HEADS AND BASES TO OWNER
 4. COORDINATE NEW CURBING AND INSTALLATION OF BACKSTOP WITH SYNTHETIC TURF CONTRACTOR FOR ATTACHMENT AND INSTALLATION
 5. EXISTING ASPHALT ACCESS FROM THE EXISTING GRAVEL PARKING LOT SHALL BE RESTORED IF NEEDED AFTER CONSTRUCTION.
 6. CONTRACTOR SHALL PROTECT EXISTING ADA PARKING AT ENTRANCE OF PARK. RESTRIPE EXISTING ASPHALT OF CONSTRUCTION EFFECTS ADA PAINTED LINES MARKS AND LOGOS.
 7. CONTRACTOR SHALL CALL LOCATE FOR ELECTRICAL ON SITE PRIOR TO START OF WORK.
 8. CONTRACTOR TO REVIEW SEPTIC AS-BUILT DRAWINGS TO PROTECT ALL SEPTIC LINES.

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
DEMOLITION PLAN

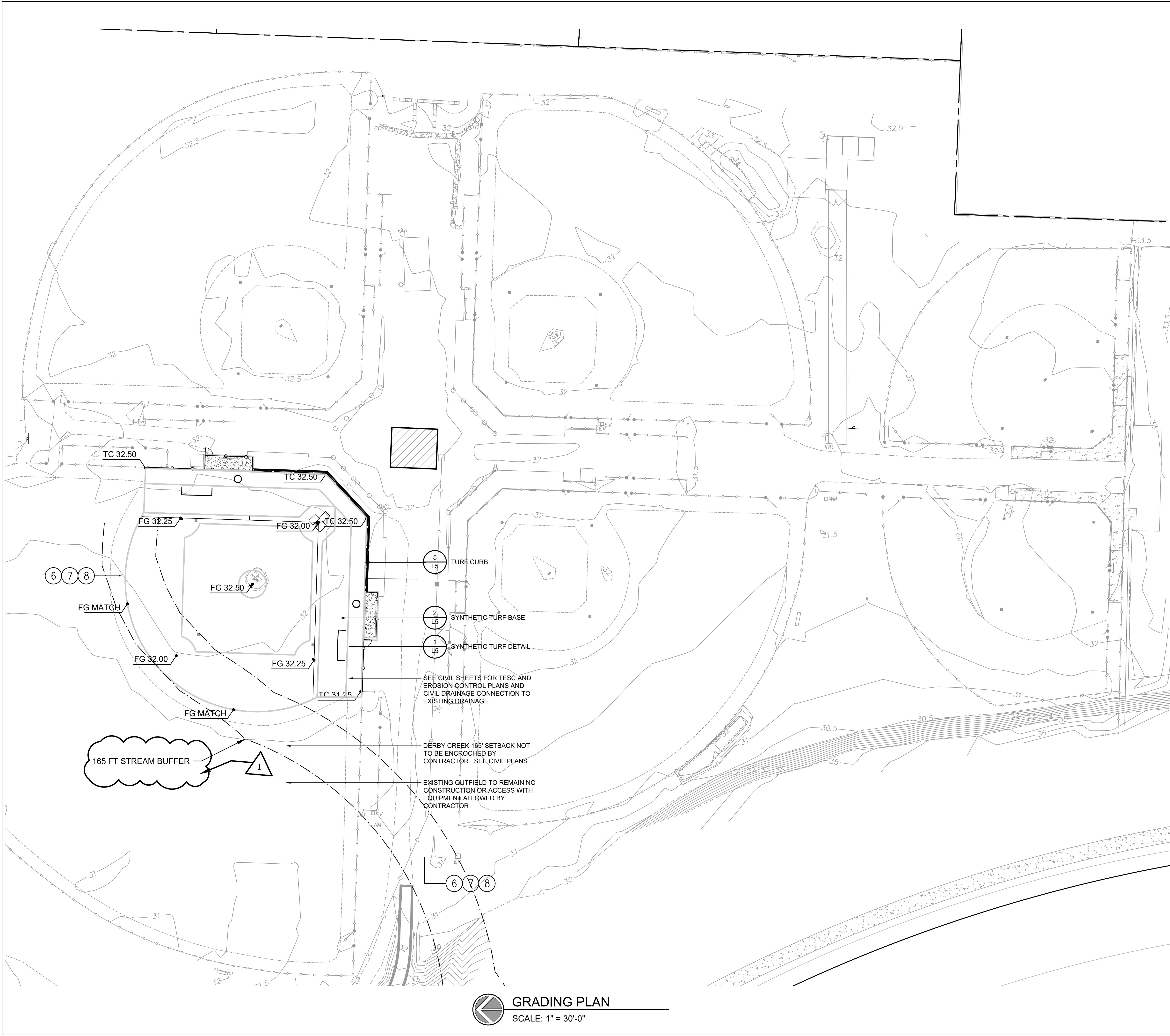
Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: EJSW
Check: MM
Revisions:

△ PERMIT SET REVISIONS

Sheet:

L1

DEMOLITION PLAN
SCALE: 1" = 30'-0"



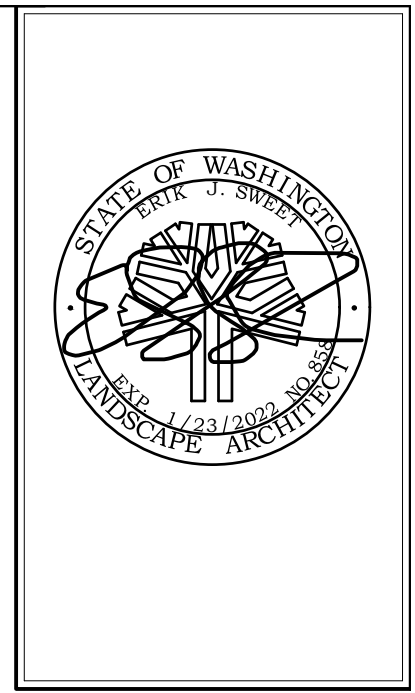
GRADING PLAN
SCALE: 1" = 30'-0"

GRADING LEGEND

	PARCEL LINE (PROPERTY LINE)
	PROPOSED LIMIT OF WORK
	TOP OF CURB SPOT ELEVATION
	FINISH GRADE SPOT ELEVATION
	SUB GRADE SPOT ELEVATION
	PERCENT OF SLOPE OF FINISH GRADE OR PIPE
	DIRECTION OF SLOPE

- GRADING NOTES**
- HORIZONTAL CONTROL FOR NORTHINGS AND EASTINGS IS BASED ON THE SURVEY COMPLETED BY EASTSIDE CONSULTANTS. SEE EXISTING SURVEY SHEETS FOR THE CONTROL POINTS.
 - FIELD SHALL BE GRADED AT A CONSISTENT SLOPE NOT LESS THAN 0.75% AS INDICATED ON DRAWINGS.
 - NOTIFY DESIGNER OF RECORD OF ANY SOFT SUBSOILS WHILE GRADING.
 - HORIZONTAL CONTROL AND ALL GRADING IS BASED UPON THE APEX OF HOMEPLATE.
 - ALL CONCRETE CURBING SHALL BE INSTALLED AND ALLOWED TO PROPERLY CURE PRIOR TO NAILER PLACEMENT.
 - GRADE ALL AREAS OUTSIDE OF FIELD IN TRANSITION AREA AT A CONSISTENT GRADE.
 - ALL AREAS OUTSIDE FIELD TO RECEIVED 2" DEPTH OF TOPSOIL.
 - PLACE SOD 10' FROM CONCRETE CURBING. ALL OTHER AREAS OF DISTURBANCE CAN BE SEEDED.

- NOTES**
- CONTRACTOR SHALL NOT ENCR OACH INTO 165' DERBY CREEK SETBACK AREA DURING CONSTRUCTION.
 - CONTRACTOR SHALL SEE AND MAINTAIN ALL TESC AND CONSTRUCTION FENCE PER CIVIL PLANS AND INSTALL ORANGE CONSTRUCTION FENCE AT CREEK SETBACK LIMITS.
 - ALL CONSTRUCTION GRADING TO BE COMPLETED BY MEANS OF AUTOMATED DOZER AND LASER CONTROL BY SPORTS FIELD SPECIALTY CONTRACTOR.
 - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND CIVIL ENGINEER OF ANY DISCREPANCIES IN GRADING PLAN.
 - CONTRACTOR SHALL REMOVE ANY AND ALL CONSTRUCTION DEBRIS FROM THE FIELD AREAS AND MAINTAIN A CLEAN SITE ON ALL EXISTING ASPHALT FOR USAGE OF FACILITY BY OWNER.
 - FOLLOW ALL CLEARING AND GRADING PERMIT REQUIREMENTS FROM KING COUNTY.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON
STEWART**
Enduring Community Design

Drawing:
**GRADING
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

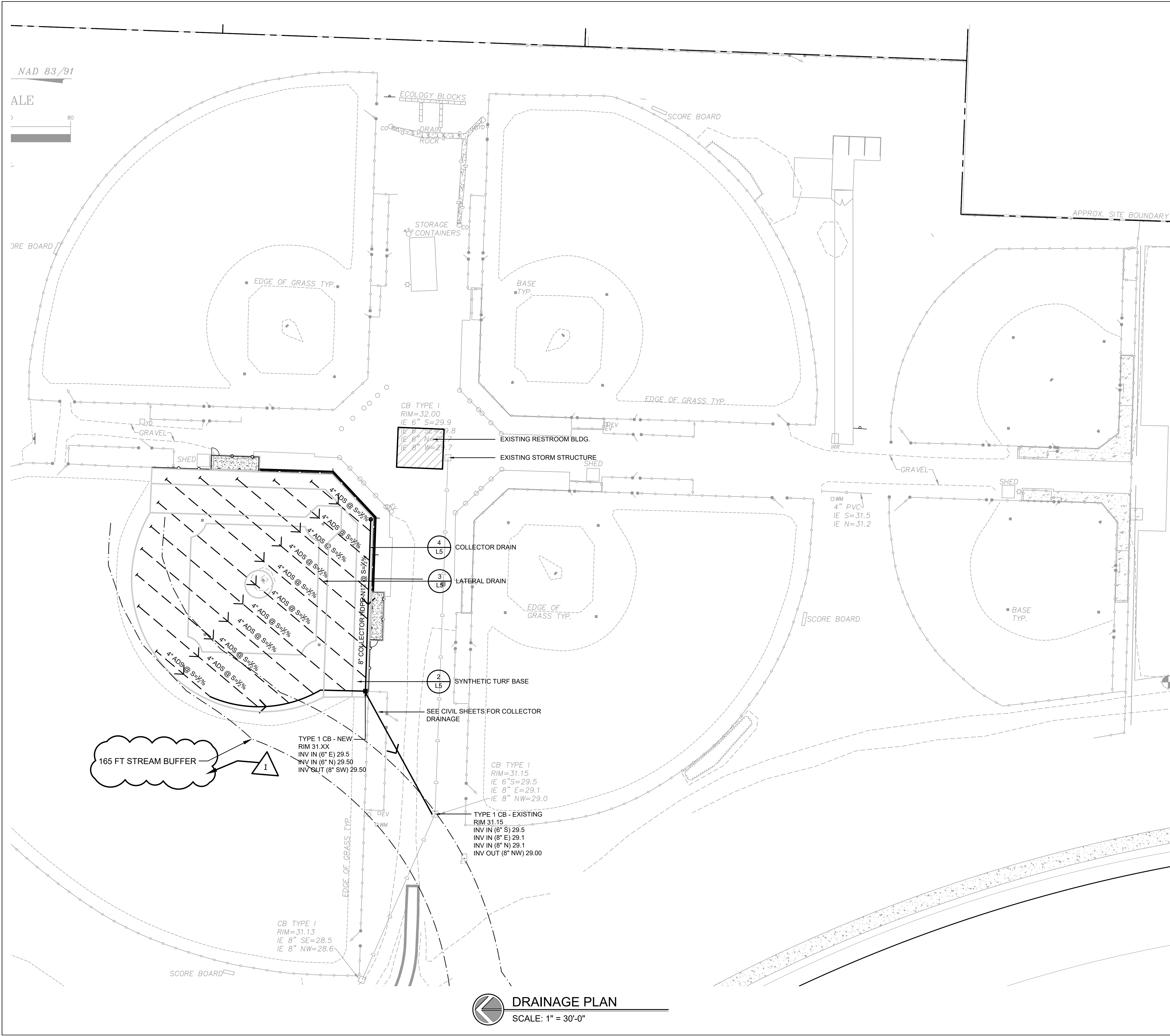
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KING COUNTY DDES APPROVAL

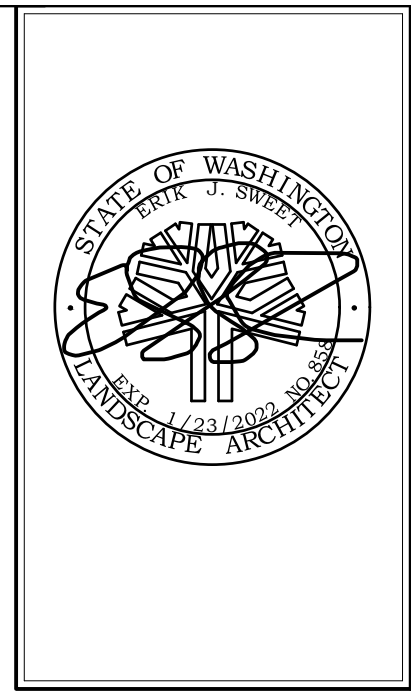
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

Sheet:

L2
7 OF 13



- DRAINAGE LEGEND**
- PARCEL LINE (PROPERTY LINE)
 - PROPOSED LIMIT OF WORK
 - COLLECTOR PIPE CONNECTED TO EXISTING STORM WATER BASIN
 - FIELD DRAIN LATERAL- TYP
 - EXISTING CATCH BASIN
 - CATCH BASIN
 - COLLECTOR DRAIN CLEAN OUT
 - S = 0.33% PERCENT OF SLOPE OF FINISH GRADE OR PIPE



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
**DRAINAGE
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

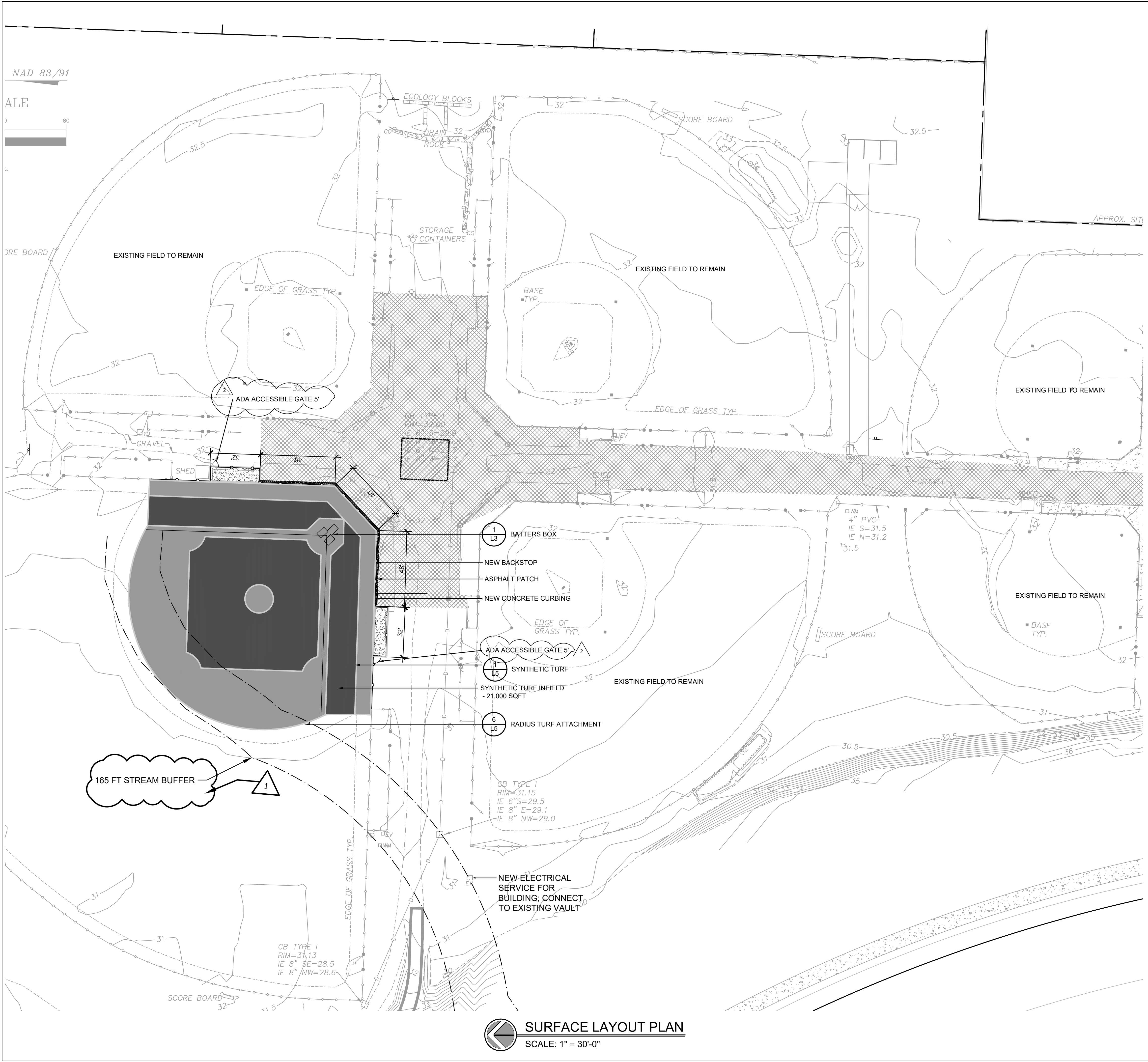
△ PERMIT SET REVISIONS

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L3

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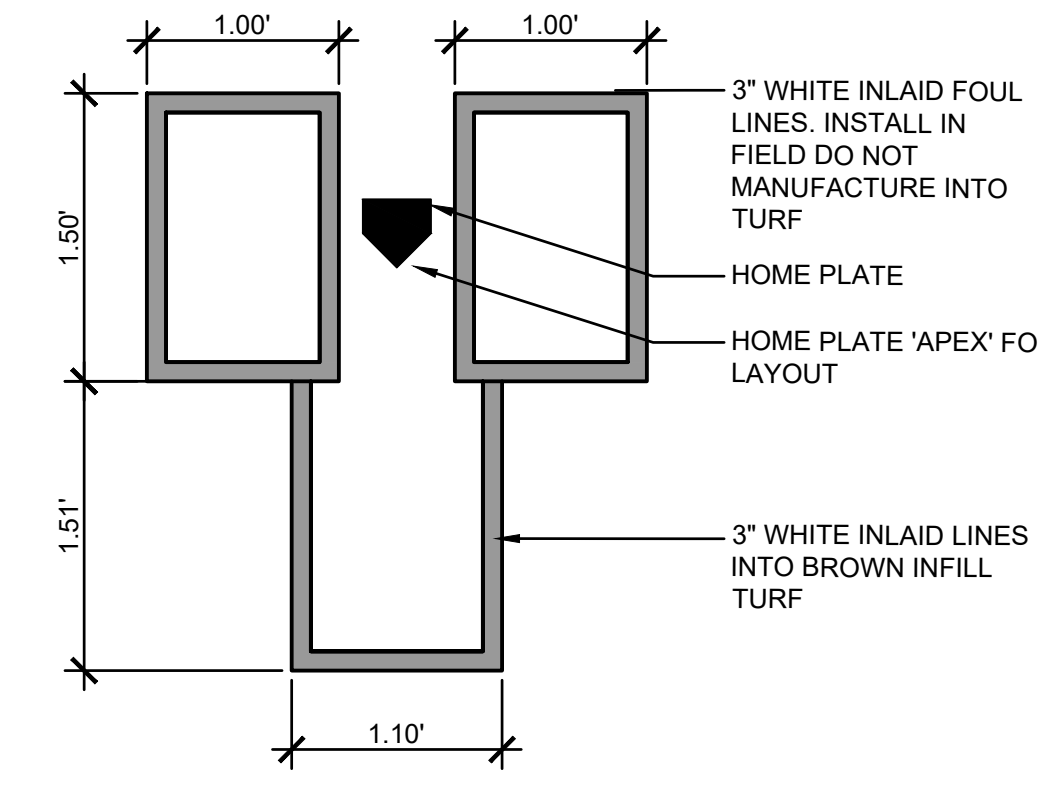
KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date

DRAINAGE PLAN
SCALE: 1" = 30'-0"

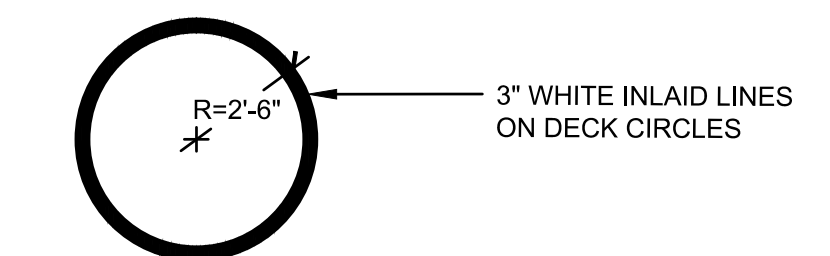


- SURFACING LEGEND**
- PARCEL LINE (PROPERTY LINE)
 - - - PROPOSED LIMIT OF WORK
 - [Hatched Box] SOD RESTORATION AREA
 - [Light Gray Box] BROWN SYNTHETIC TURF SURFACING
 - [Dark Gray Box] GREEN SYNTHETIC TURF SURFACING
 - [Black Box] ASPHALT PATCH
 - WHITE FIELD STRIPING LINES

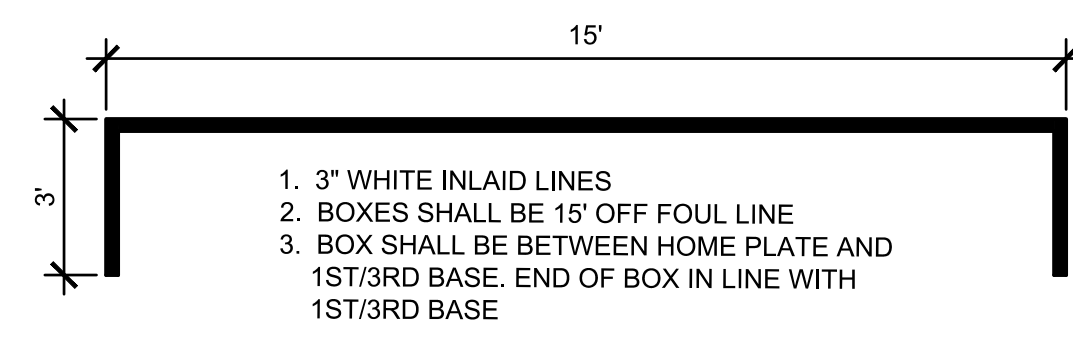
- SURFACING NOTES**
- 1 ALL OUTFIELD NATURAL GRASS TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. RESTORE/REPAIR TO EXISTING CONDITION THEREAFTER IF NECESSARY.
 - 2 ALL LINES SHALL BE 3" WIDTH WHITE IN COLOR INLAID IN THE TURF
 - 3 ALL INFIELD SYNTHETIC TURF SHALL BE GREEN OR BROWN IN COLOR PER PLANS.
 - 4 ALL INFILL SHALL BE A SAND AND RUBBER MIX



1 BATTER'S/ CATCHER'S BOX
NTS

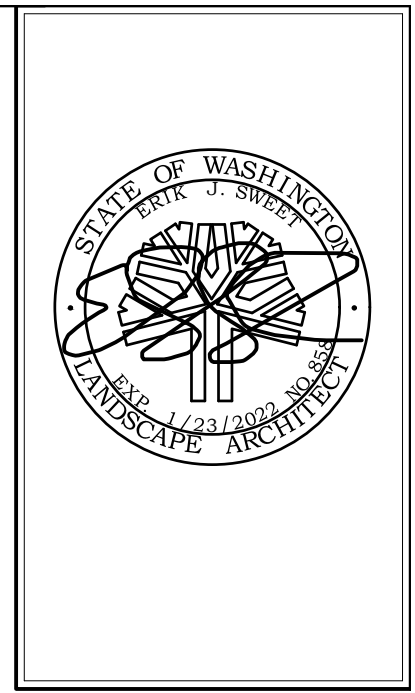


2 ON DECK CIRCLE
NTS



3 COACHES BOX
NTS

- NOTES**
1. SEE SHEET L0 FOR PROJECT LIMITS FOR SEPA REVIEW AND PERMITS.



**NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON
STEWART**
Enduring Community Design

Drawing:
**SURFACE LAYOUT
PLAN**

Date: 06/05/2020
Job #: 20025
Scale: 1"=30'-0"
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

PERMIT SET REVISIONS

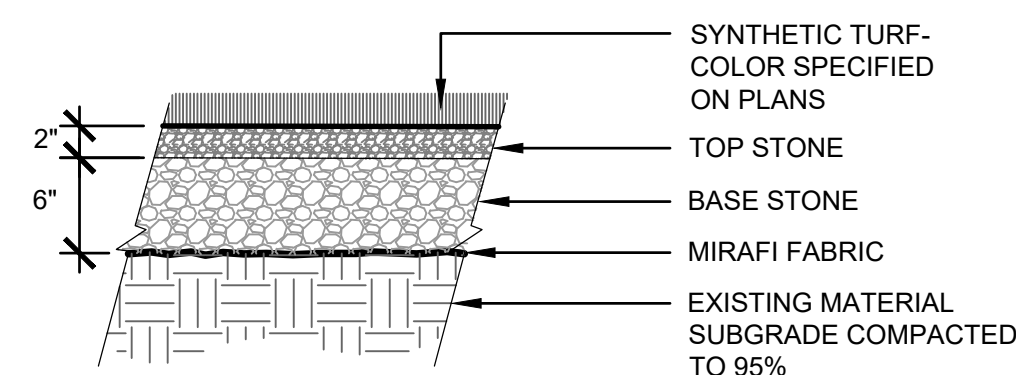
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L4

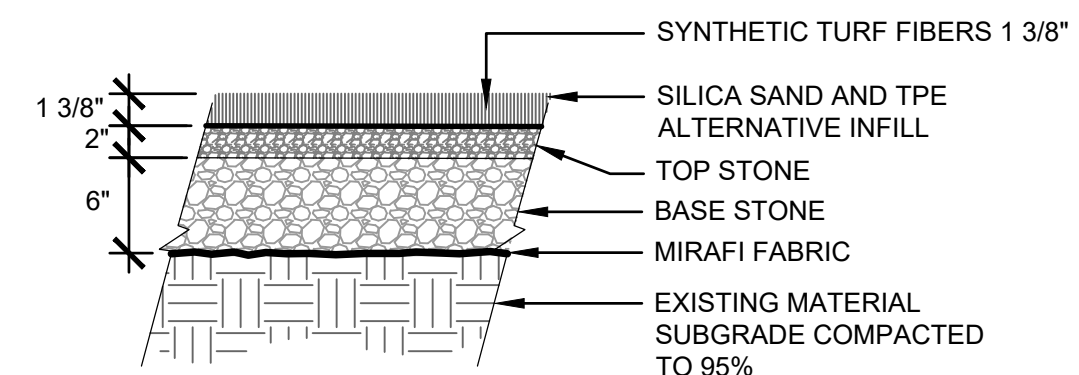
CALL BEFORE YOU DIG
Call: TOLL FREE
1-800-424-5555

SURFACE LAYOUT PLAN
SCALE: 1" = 30'-0"

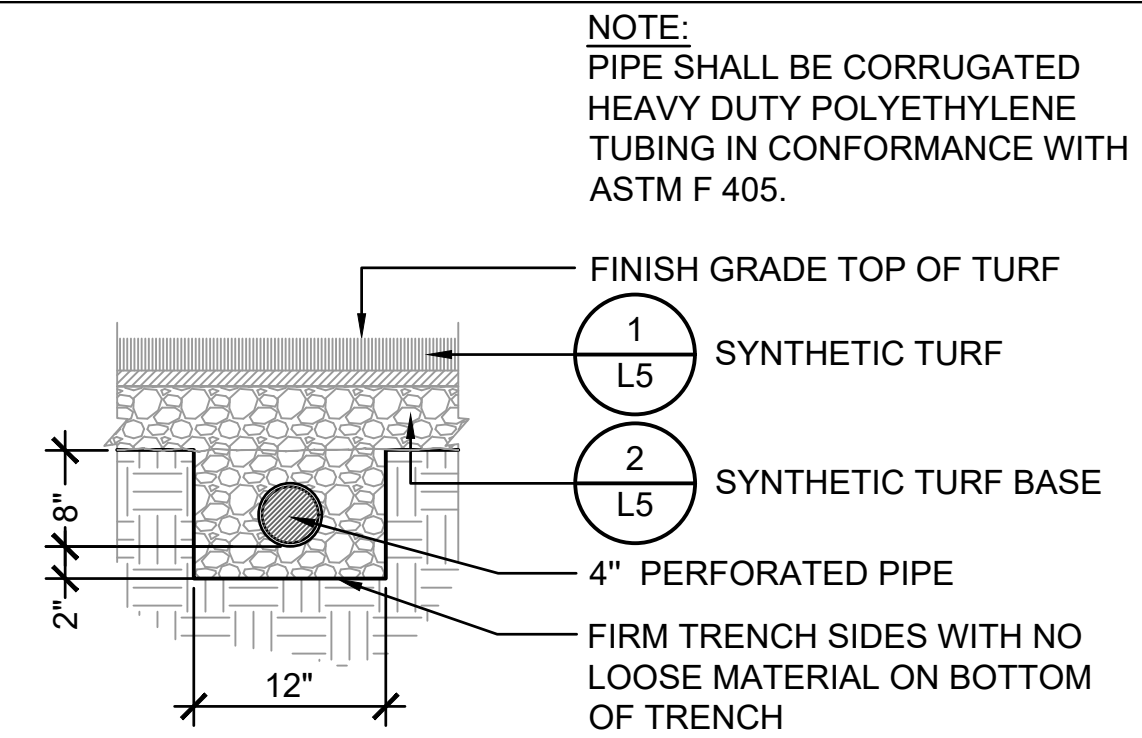
PERMIT RESUBMITTAL 2-18-2022



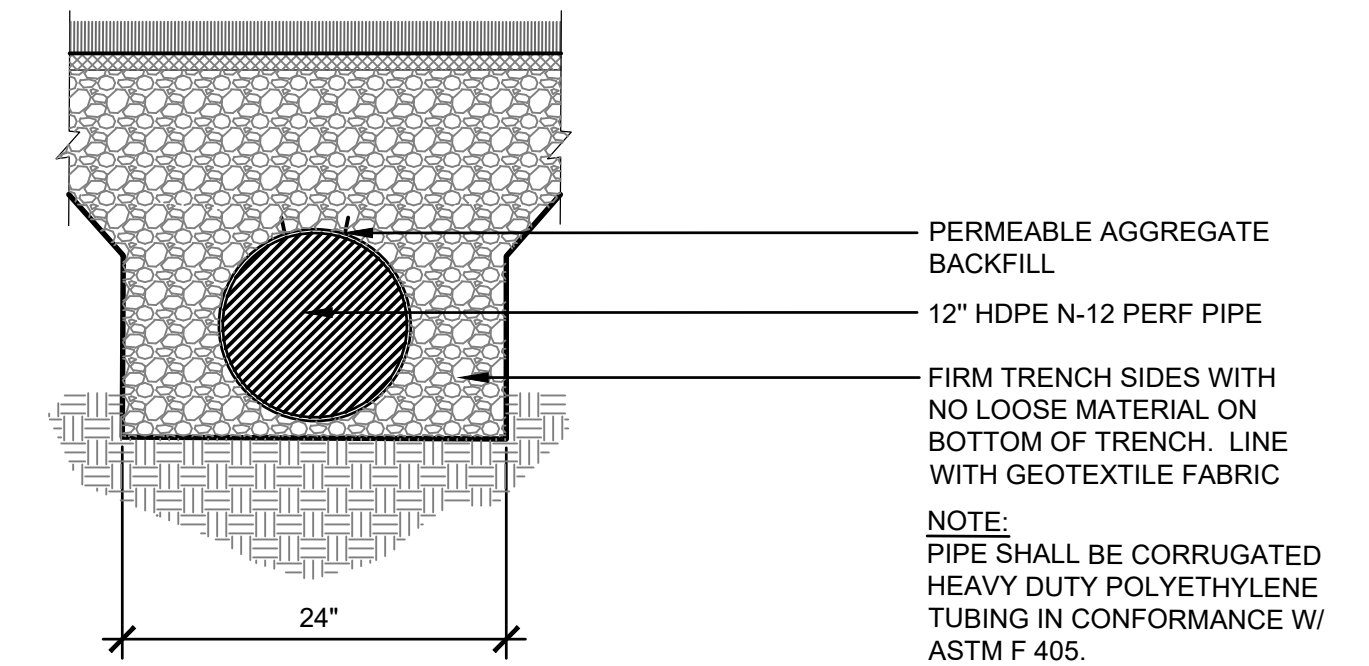
1 SYNTHETIC TURF DETAIL
NTS



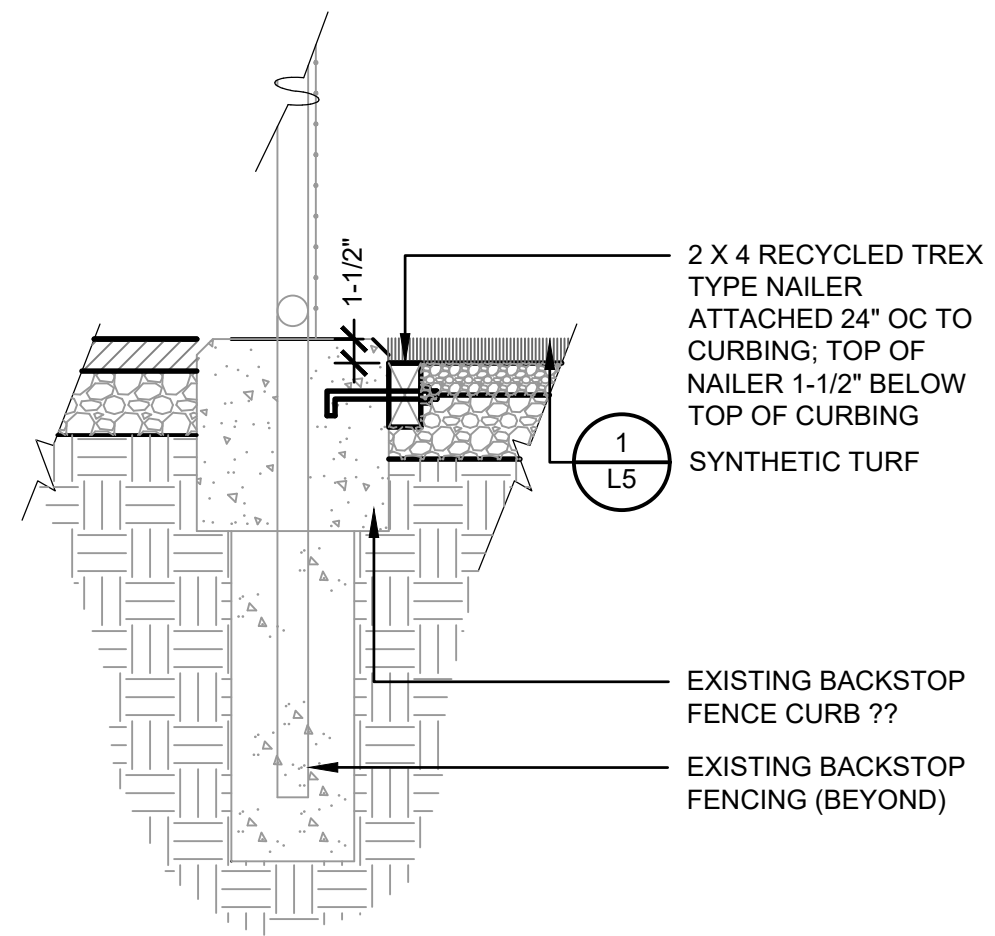
2 SYNTHETIC TURF BASE CROSS SECTION
NTS



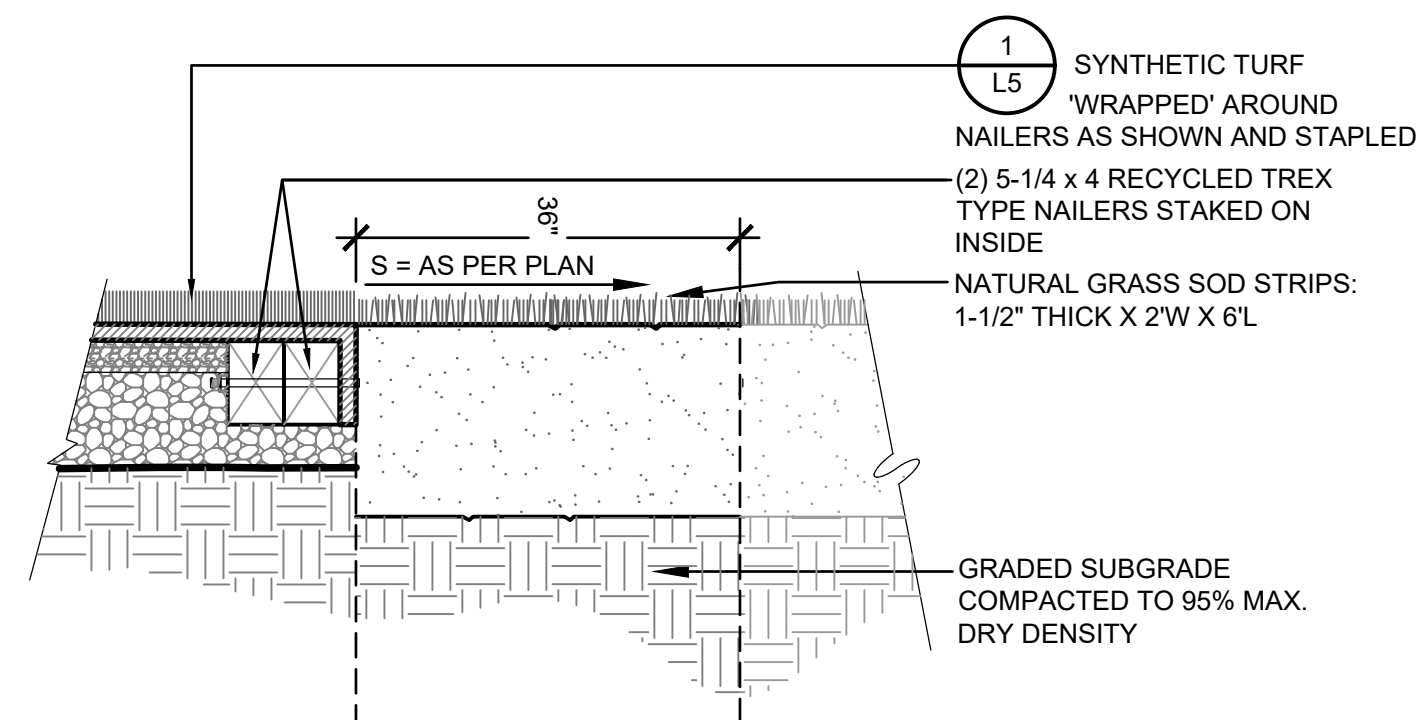
3 LATERAL DRAIN LINE
NTS



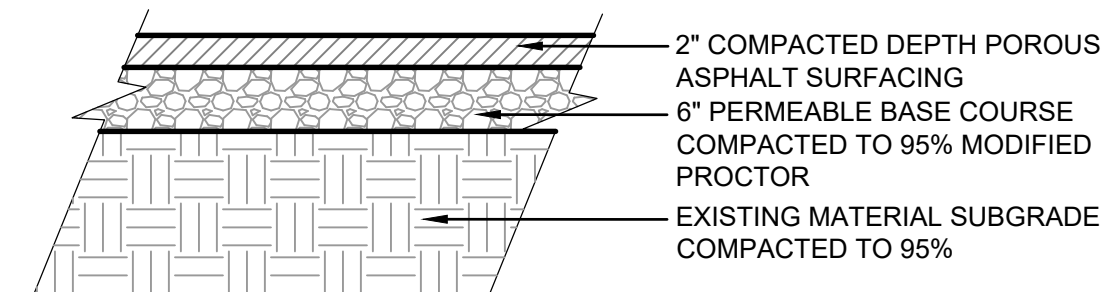
4 COLLECTOR DRAIN - SYNTHETIC TURF
NTS



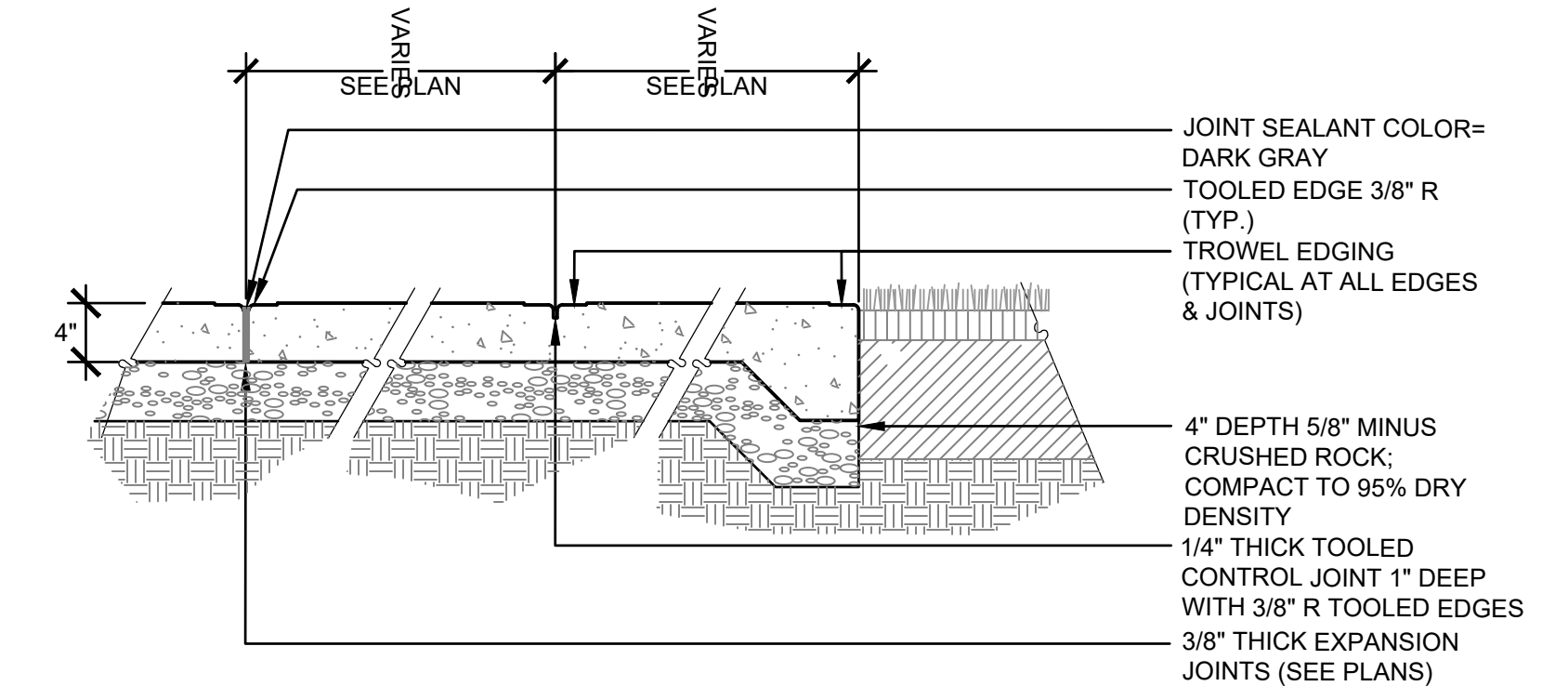
5 FENCE POST FOOTING - NON NET POST
NTS



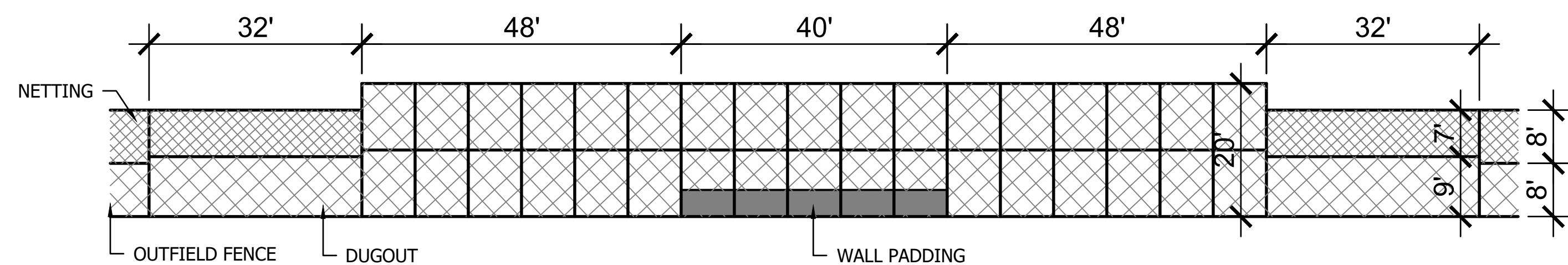
6 TURF ATTACHMENT - INFIELD RADIUS
NTS



7 ASPHALT PATCH DETAIL
NTS



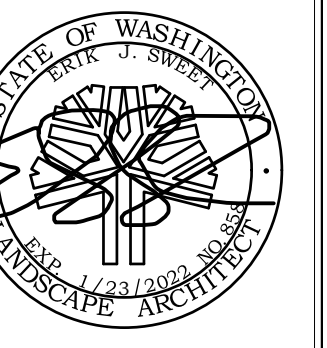
8 CONCRETE PAVING & JOINT DETAILS
NTS



9 BASEBALL BACKSTOP LAYOUT
SCALE: NTS

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KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072

SANDERSON STEWART
Enduring Community Design

Drawing:

FIELD
DETAILS

Date: 06/05/2020

Job #: 20025

Scale: NTS

Design: EJSW

Drawn: JWC

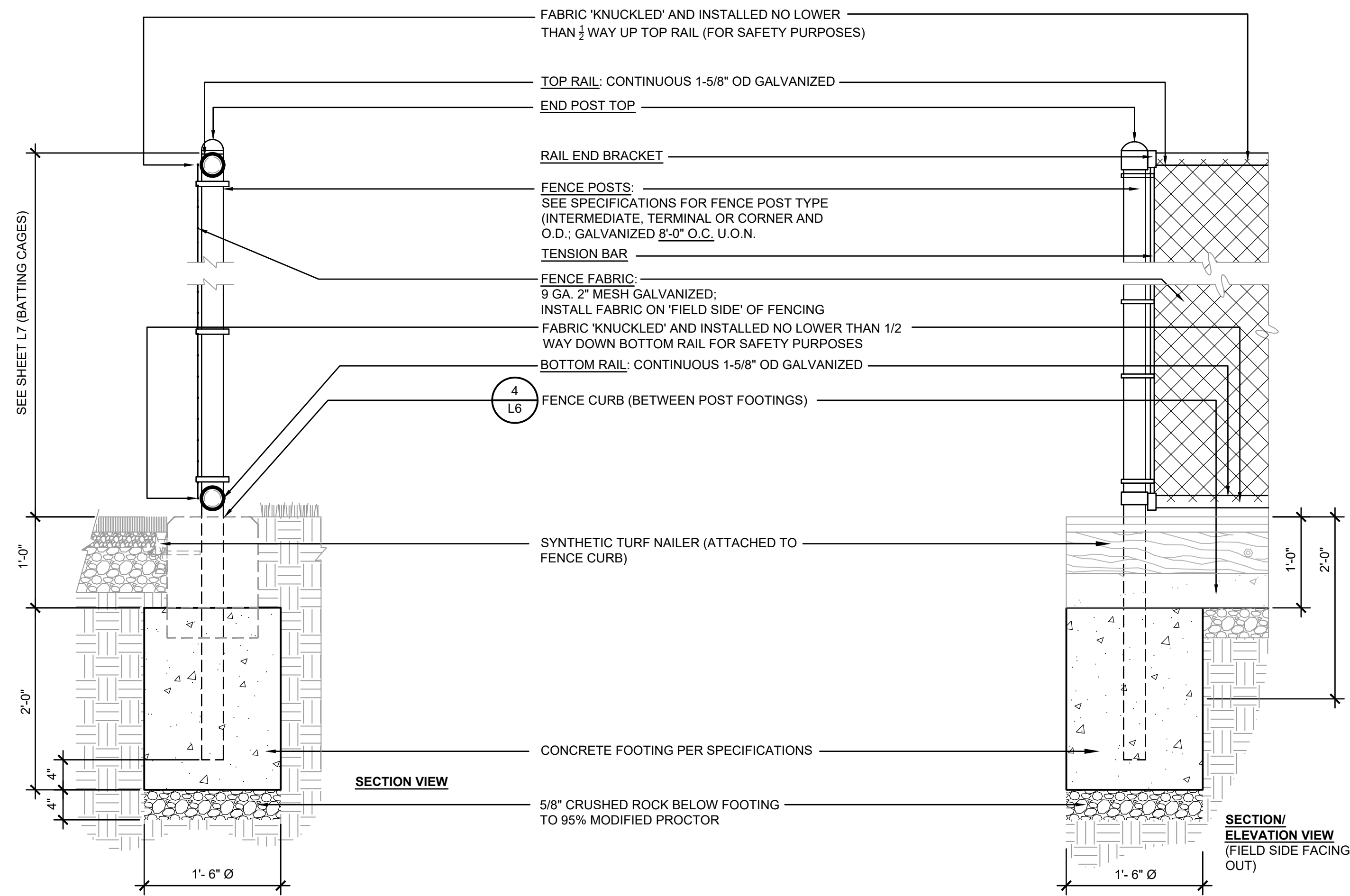
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Revisions:

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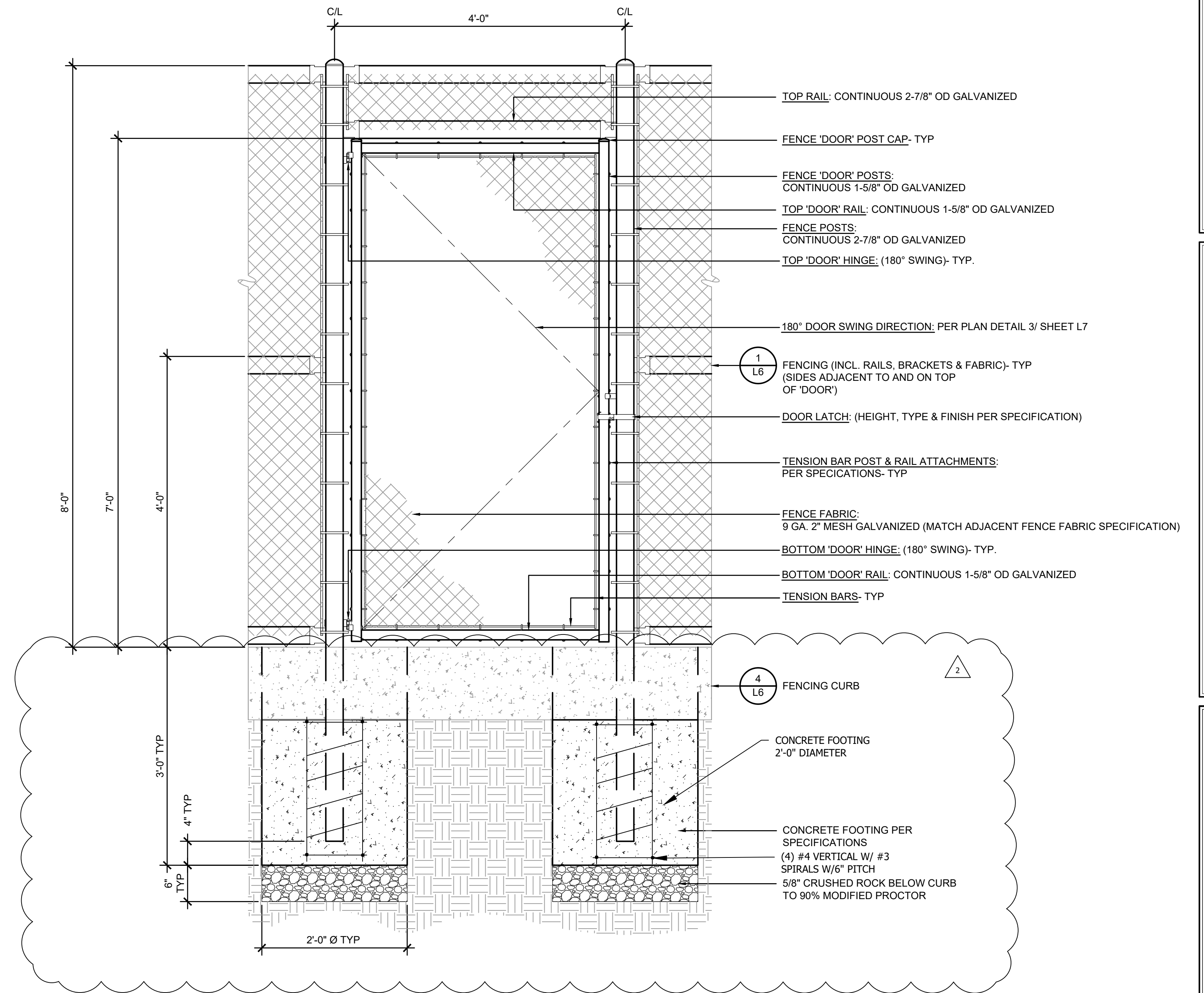
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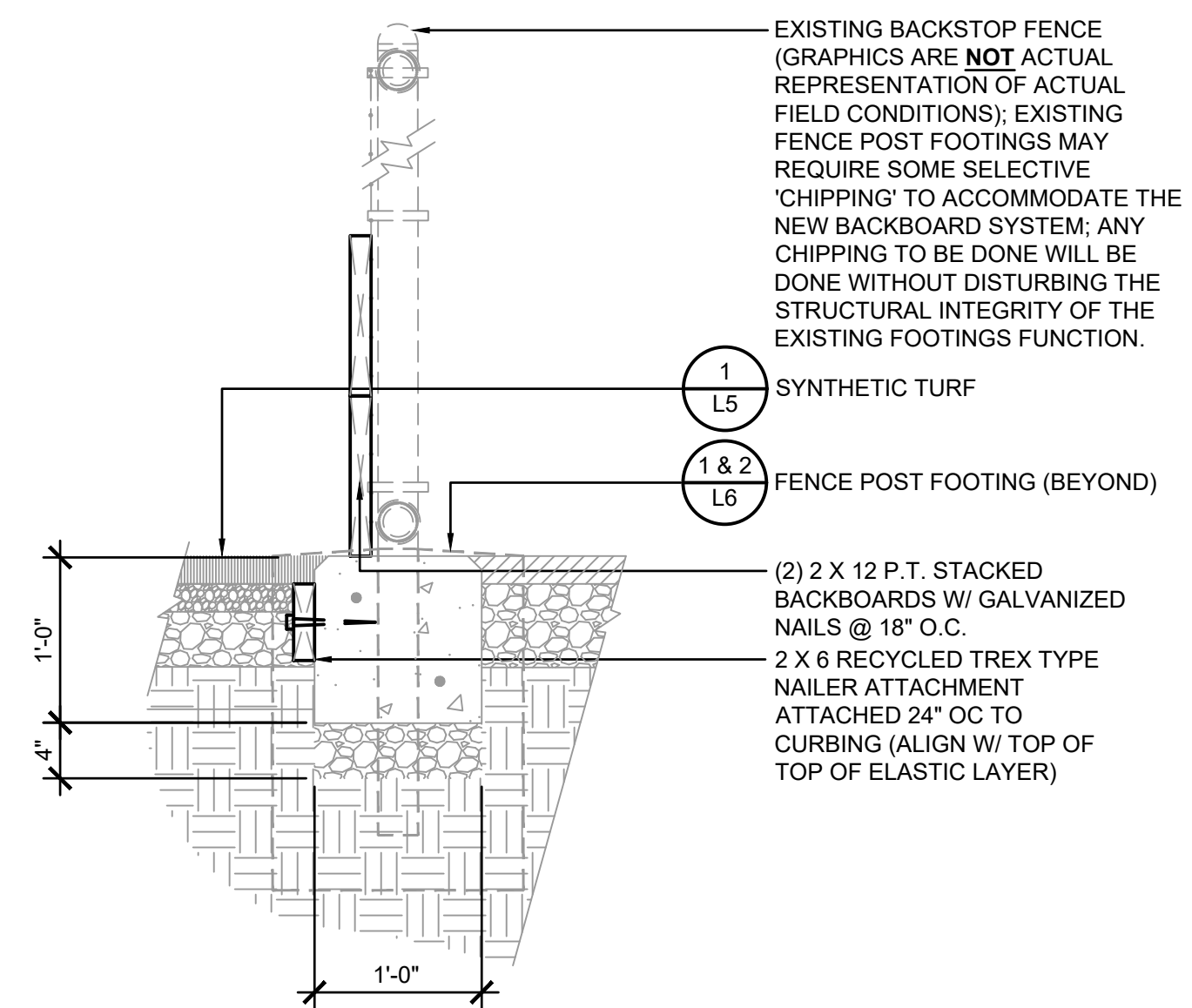


1 FENCE & FOOTING- SECTION & PLAN
NTS

2 FENCE & FOOTING- SECT. /ELEV./ PLAN
NTS



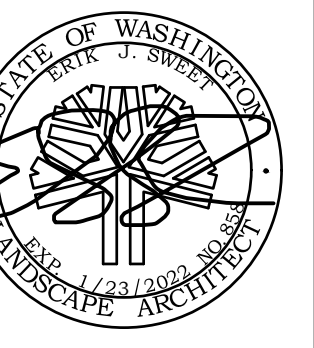
3 GATE & FOOTINGS- SECTION /ELEVATION
NTS



4 NEW SYN. TURF NAILER @ EXISTING BACKSTOP FENCE & NEW 12"W CURB- SECTION
NOT TO SCALE

(Note to Engineer: This approval signature block not required for cover page.)

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



NORTHSHORE ATHLETIC FIELDS
FIELD RENOVATIONS
NORTHSHORE ATHLETIC FIELDS CORPORATION
14725 NE 145TH ST WOODINVILLE, WA 98072



Drawing:
FIELD
DETAILS

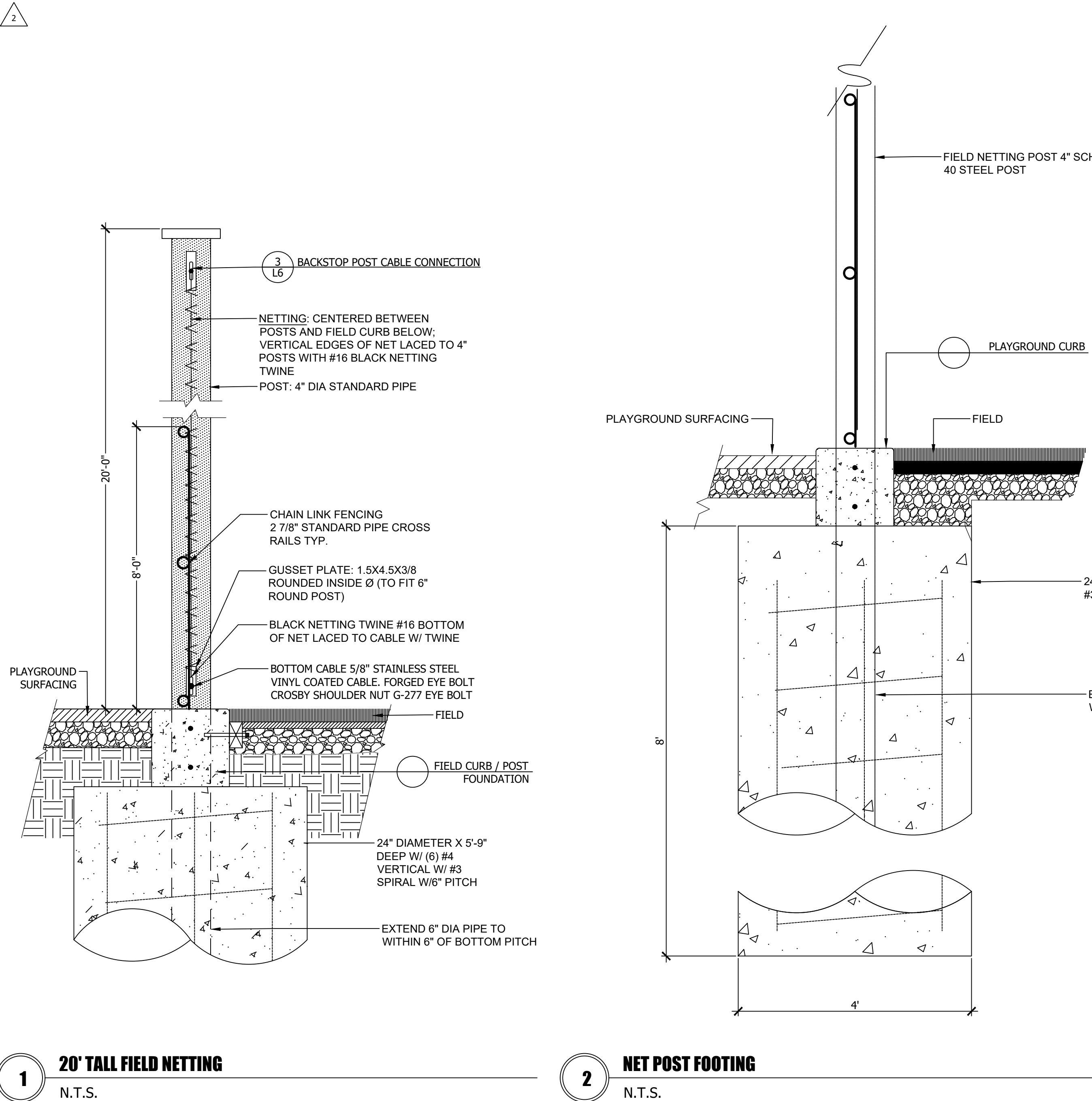
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Job #: 20025
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Check: MM
Revisions:

PERMIT SET REVISIONS

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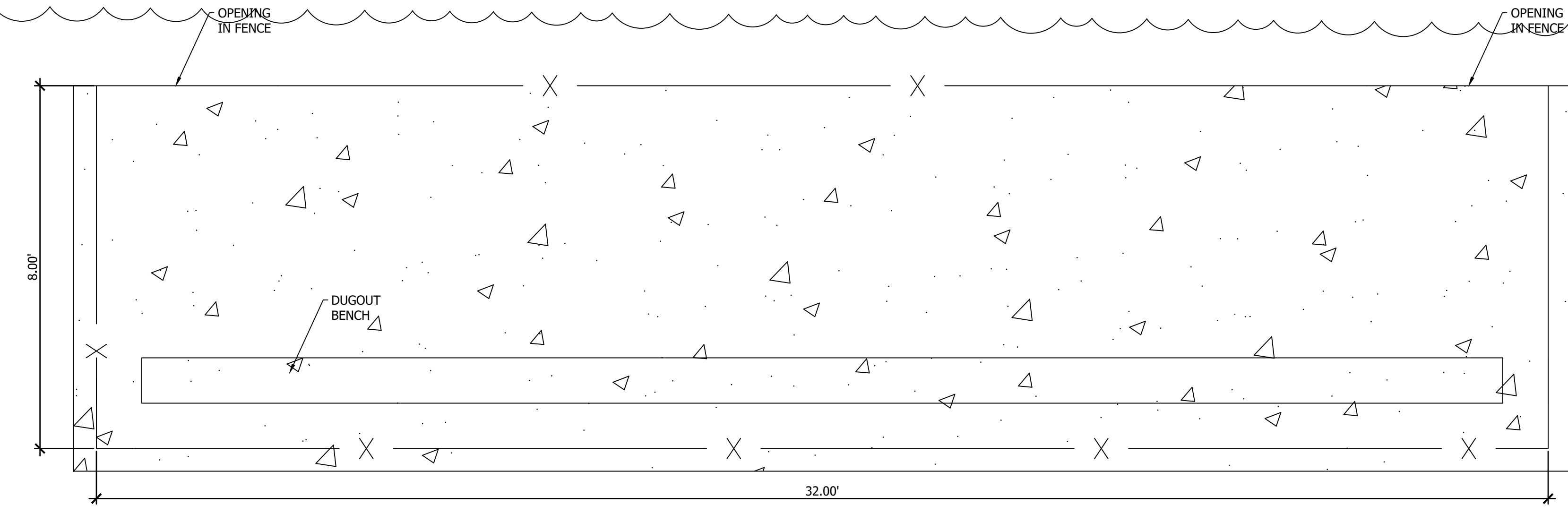
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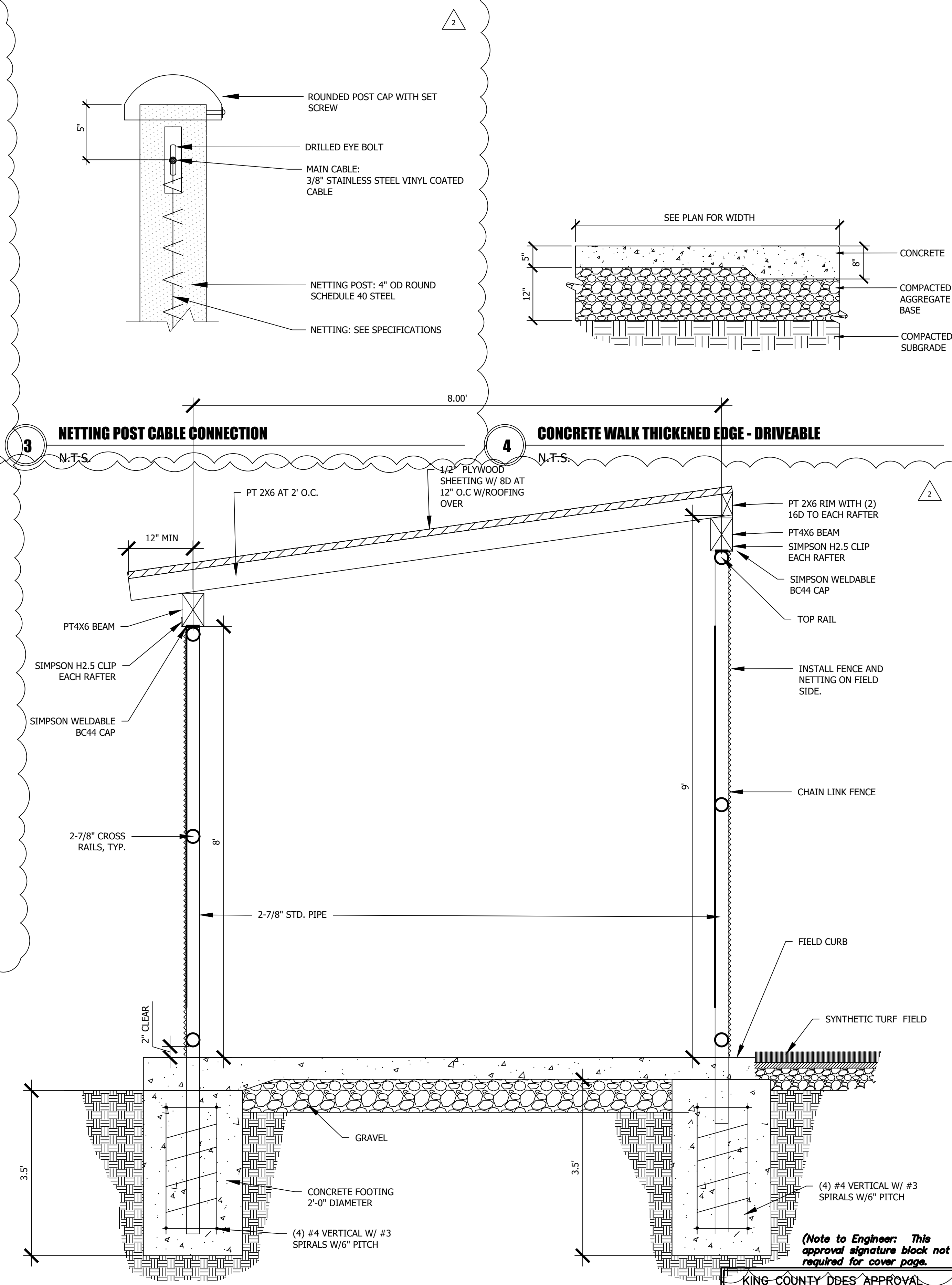


1 20' TALL FIELD NETTING
N.T.S.

2 NET POST FOOTING
N.T.S.



5 DUGOUT - PLAN
N.T.S.



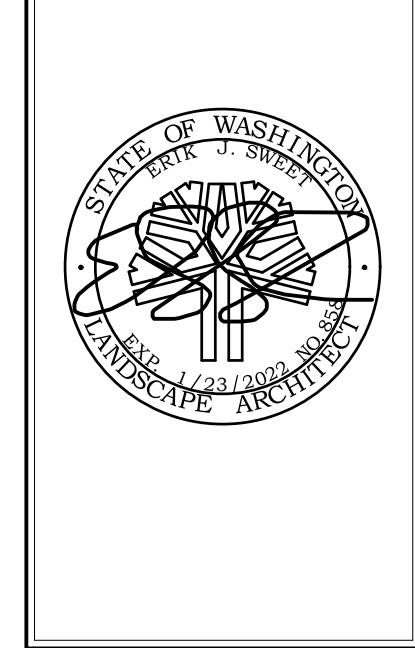
3 NETTING POST CABLE CONNECTION
N.T.S.

4 CONCRETE WALK THICKENED EDGE - DRIVEABLE
N.T.S.

6 DUGOUT-ELEVATION
N.T.S.

NOTES:
1. METAL ROOF SHALL BE PRE-PAINTED 24 GA HR36 METAL ROOF PANELS ON A 20 GA . GALVANIZED CORRUGATED METAL DECK. SECURE METAL DECK TO FENCE RAILS WITH EDPM WASHERED GALVANIZED TEK3 SCREWS AT 6\"/>

KING COUNTY DDES APPROVAL	
Review Engineer	Date
Senior Engineer	Date
Molly A. Johnson, P.E. DEVELOPMENT ENGINEER	Date



**NORTSHORE ATHLETIC FIELDS
FIELD RENOVATIONS**
NORTSHORE ATHLETIC FIELDS CORPORATION
14735 NE 145TH ST WOODINVILLE, WA 98072

**SANDERSON
STEWART**
Enduring Community Design

Drawing:
**FIELD
DETAILS**

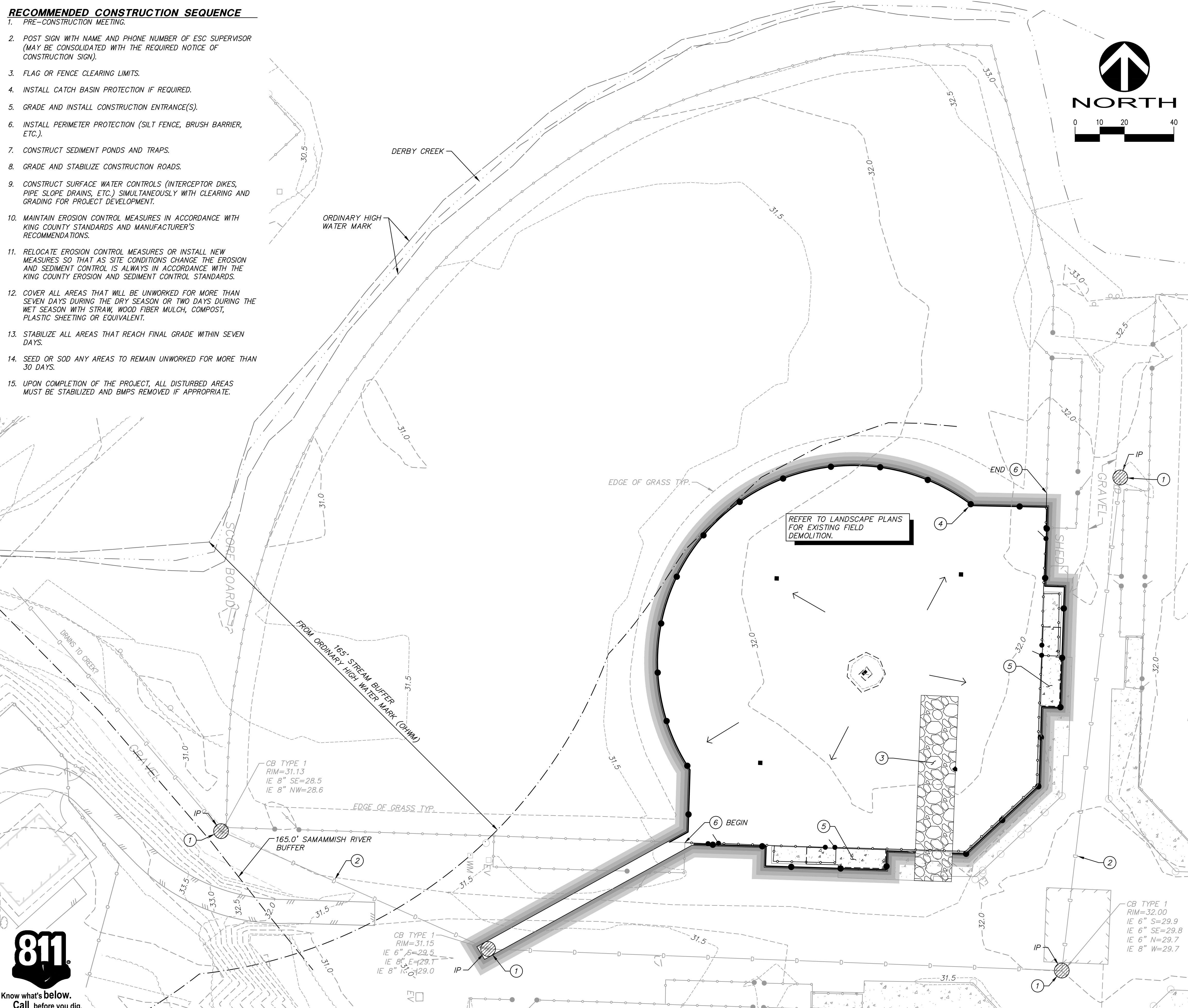
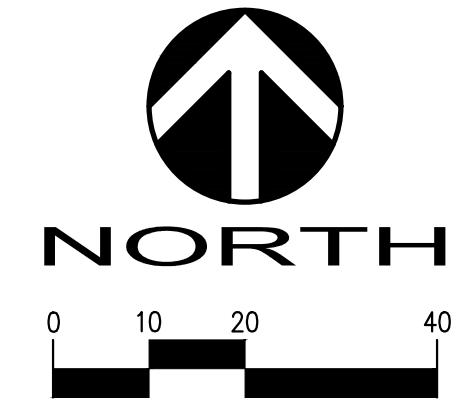
Date: 06/05/2020
Job #: 20025
Scale: NTS
Design: EJSW
Drawn: JWC
Check: MM
Revisions:

- 1 PERMIT SET REVISIONS
- 2 PERMIT SET REVISIONS

Sheet:
L7

RECOMMENDED CONSTRUCTION SEQUENCE

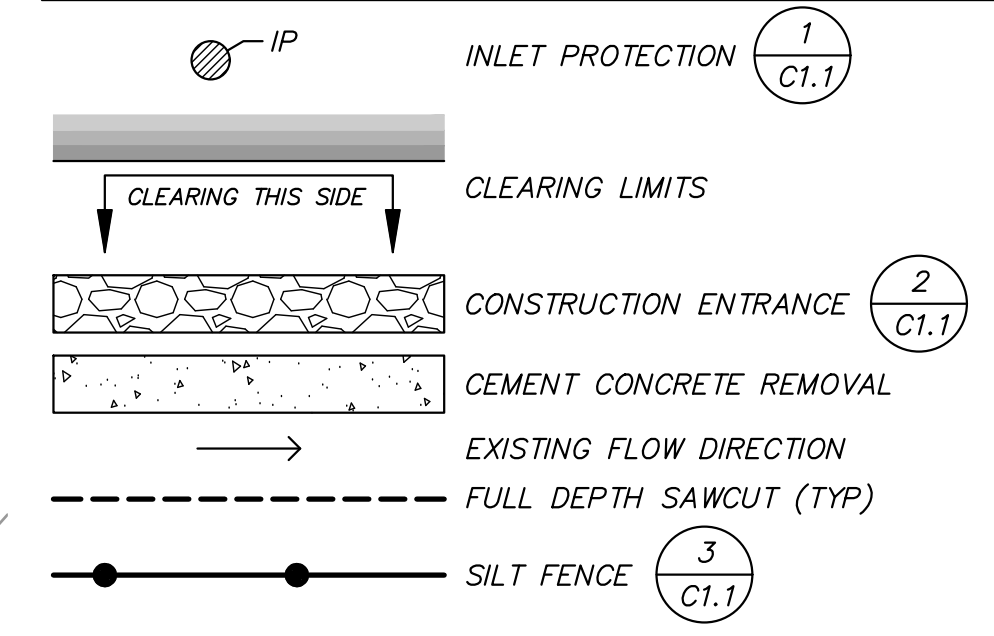
1. PRE-CONSTRUCTION MEETING.
2. POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
3. FLAG OR FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
7. CONSTRUCT SEDIMENT PONDS AND TRAPS.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH KING COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
11. RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE KING COUNTY EROSION AND SEDIMENT CONTROL STANDARDS.
12. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
13. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
14. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED IF APPROPRIATE.



LEGAL DESCRIPTION

POR OF S 1/2 OF SW 1/4 LESS POR LYING WLY OF E LN OF SAMM WATERWAY LESS E 287.15 FT LESS E 387.15 FT OF S 485 FT LESS RD TGW 100 FT STRIP ELY OF & CONCENTRIC TO ELY LN OF SAMM WATERWAY IN N 1/2 & NW 1/4 OF SE 1/4 OF SD SEC TGW POR SD SE 1/4 ELY OF & CONCENTRIC WITH & 50 FT WLY OF SWLY LN OF SAMM WATERWAY LESS POR SD 50 FT STRIP LYING NLY OF SLY LN OF LOT 2 OF KCSP 1281011 REC #8203120543 LESS RD LESS P/L R/W LESS POR PER REC #20100211000595 EXEMPT FROM THE SOUND TRANSIT/RTA PROPERTY TAXES PER SB 6475

TESC/DEMO LEGEND



TESC/DEMO KEY NOTES:

- 1 CATCH BASIN INLET SEDIMENT PROTECTION.
- 2 PROTECT ALL EXISTING UTILITIES UNLESS OTHERWISE NOTED.
- 3 STABILIZED CONSTRUCTION ENTRANCE.
- 4 INSTALL SILT FENCE.
- 5 REMOVE APPROXIMATELY 470 Sq. Ft TOTAL OF EXISTING CEMENT CONCRETE.
- 6 REMOVE EXISTING FENCING.

CLEARING TABLE:

AREA TO BE CLEARED: 19,414 Sq. Ft. - 13.3%
 TOTAL SITE AREA: 1,458,979 Sq. Ft. - 100% (UNDISTURBED)

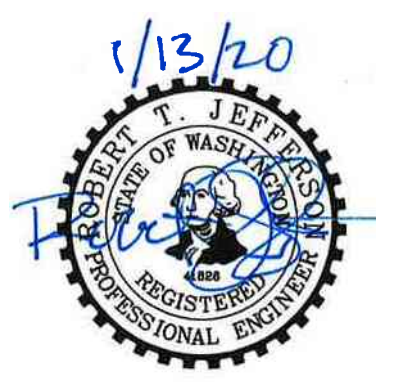
DEMOLITION NOTES

1. DEMOLISH ALL ITEMS WITHIN CLEARING LIMITS EXCEPT AS NOTED.
2. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND PROTECT ALL UTILITIES NECESSARY TO SUPPORT CONTINUED OPERATIONS.
3. CONTRACTOR TO CONFIRM INVERT ELEVATIONS.

LOCATIONS OF EXISTING FEATURES ARE BASED ON SURVEY PROVIDED BY EASTSIDE CONSULTANTS, INC. DATED DECEMBER 2013. ADDITIONAL SURVEY OF DERBY CREEK AND BUFFERS PROVIDED BY PARAMETRIX. DATE OF SURVEY IS UNDETERMINED. CONTRACTOR TO CONFIRM EXISTING FEATURES, RIMS AND INVERT ELEVATIONS PRIOR TO STARTING WORK.

REVIEWED BY:	MAP	DATE	NO.	DATE	REVISION
			1		

PERMIT SET

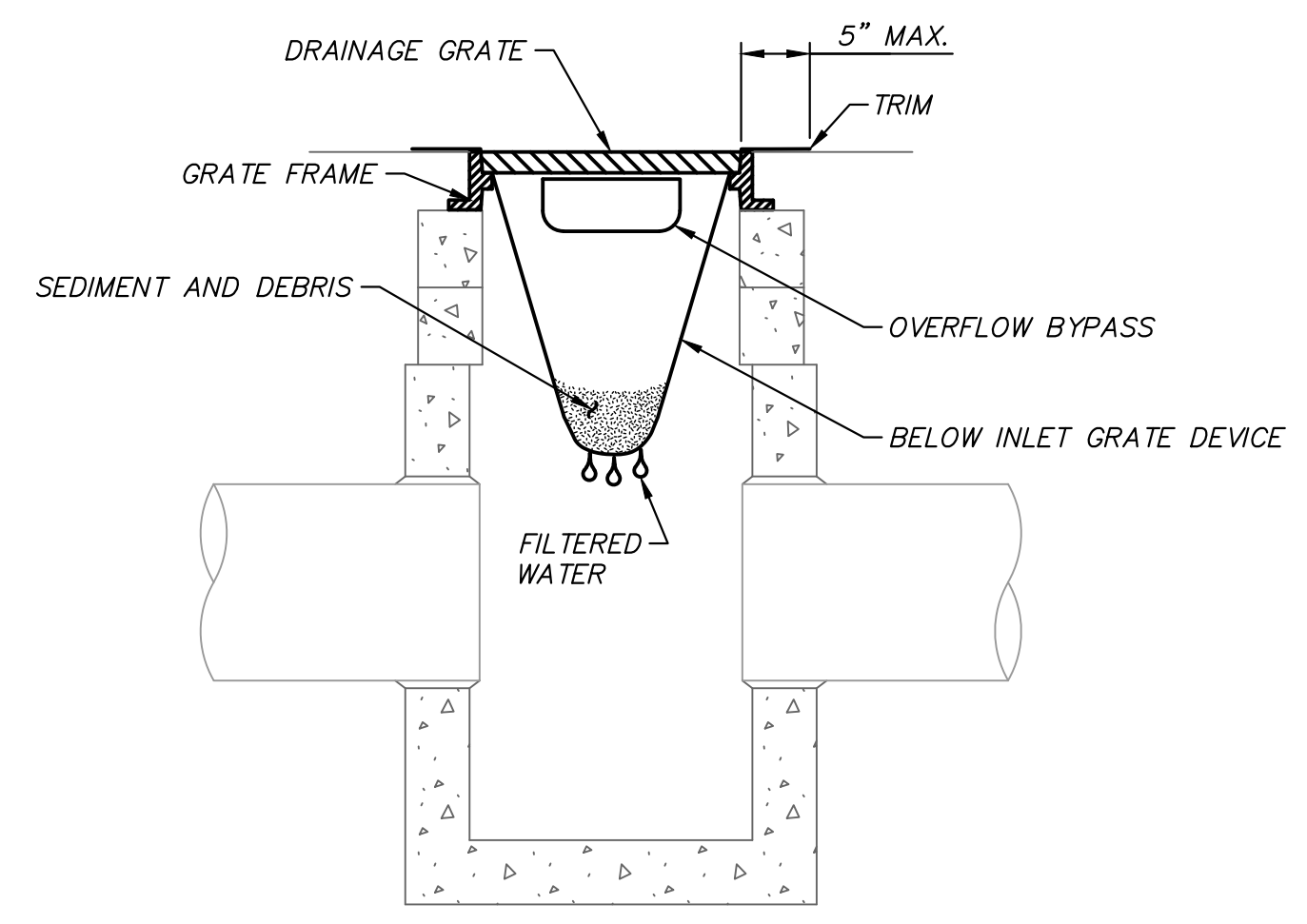


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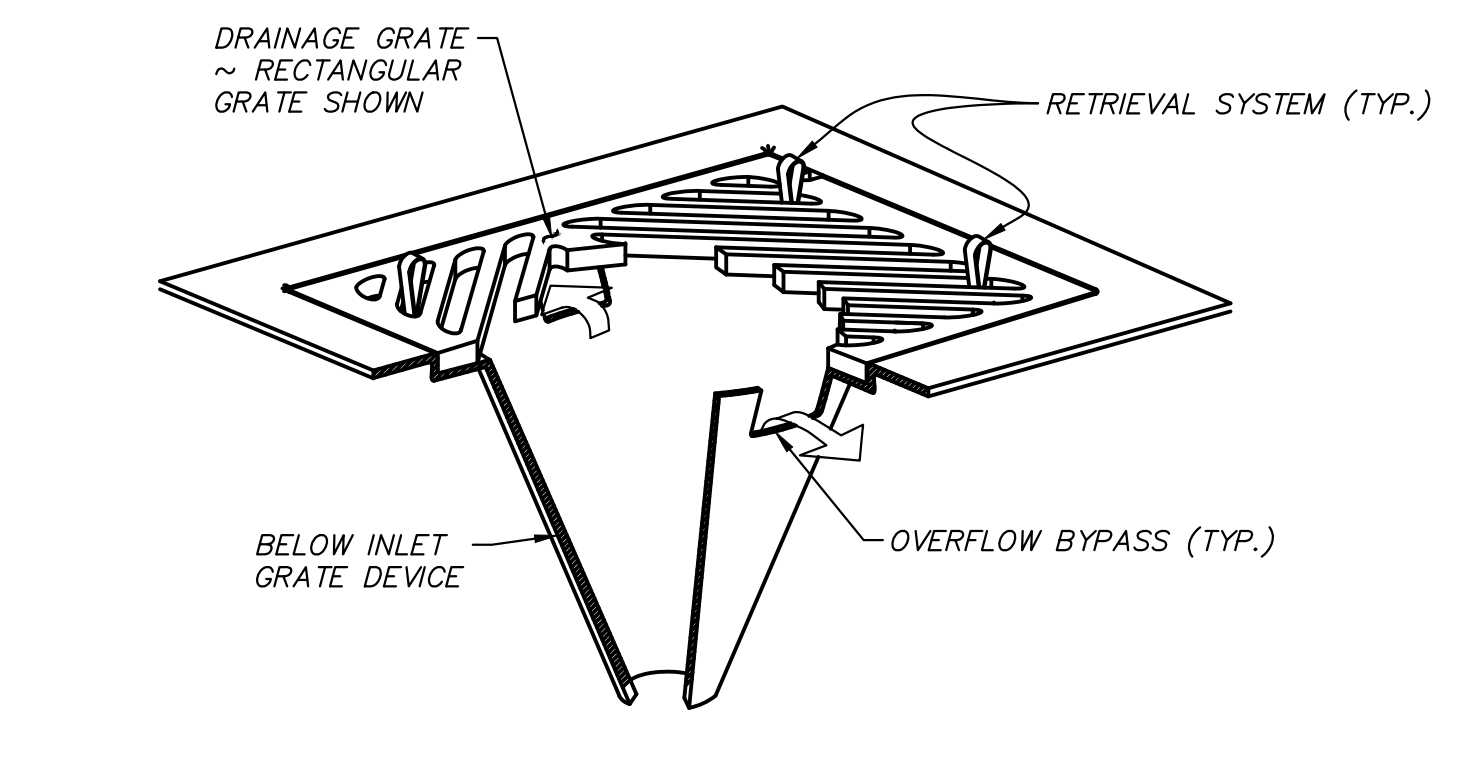


KING COUNTY EROSION & SEDIMENT CONTROL NOTES:

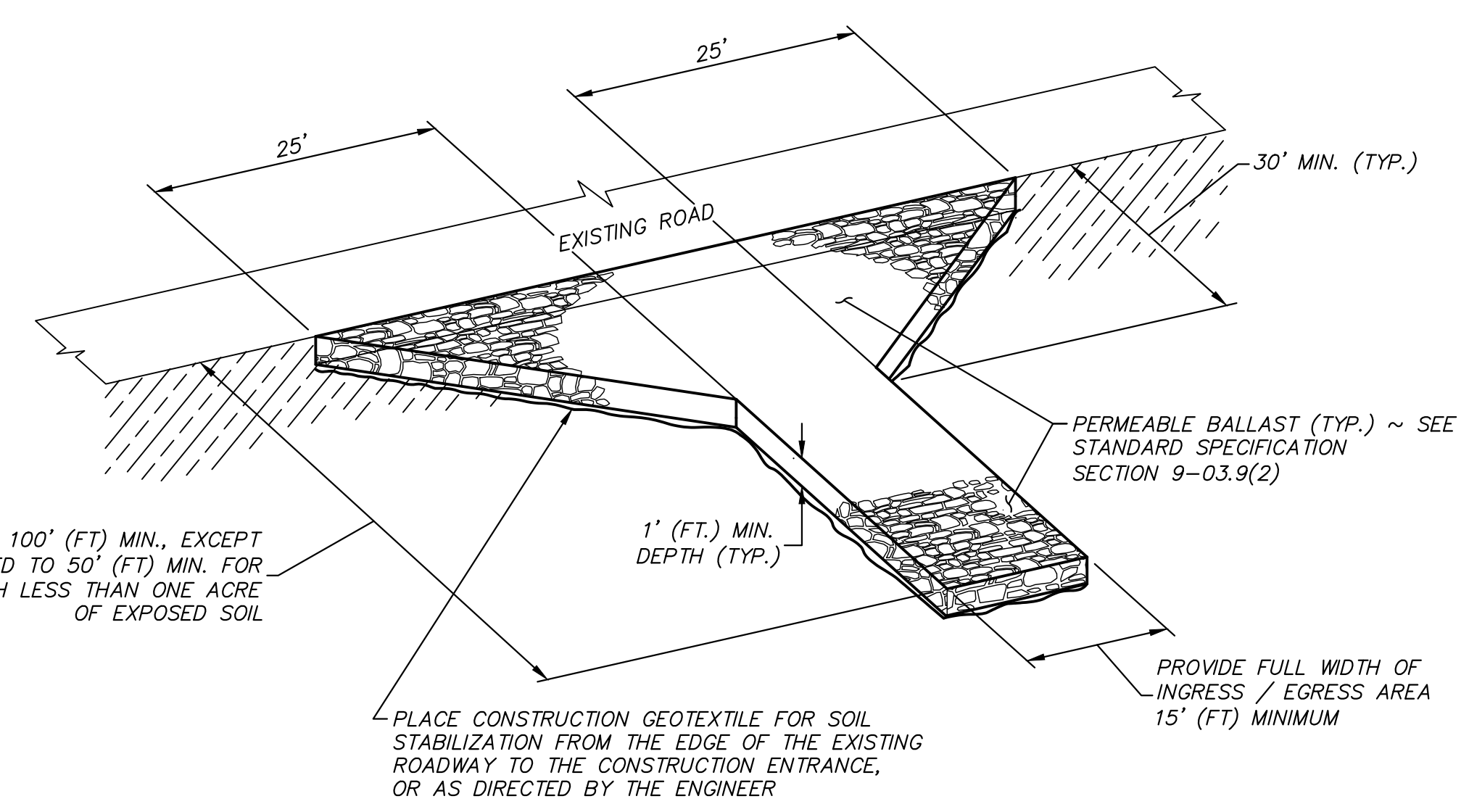
1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.).
7. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
8. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
9. ANY AREA NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE LEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
12. ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
13. COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
14. PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR FOR REVIEW.



1. SIZE THE BELOW INLET GRATE DEVICE (BIGD) FOR THE STORM WATER STRUCTURE IT WILL SERVICE.
2. THE BIGD SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
3. THE RETRIEVAL SYSTEM MUST ALLOW REMOVAL OF THE BIGD WITHOUT SPILLING THE COLLECTED MATERIAL.
4. PERFORM MAINTENANCE IN ACCORDANCE WITH STANDARD SPECIFICATION 8-01.3(15).

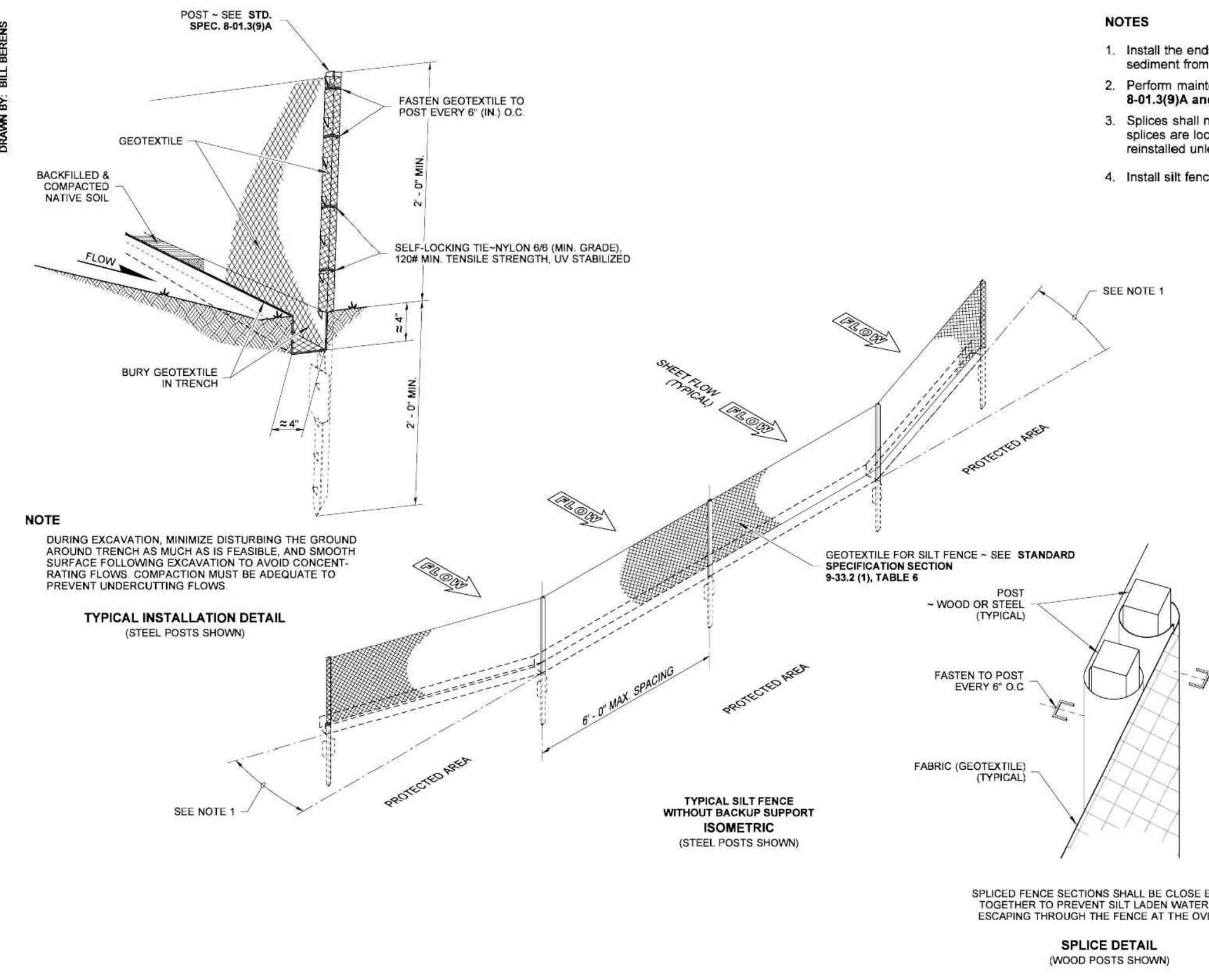


1 INLET SEDIMENT PROTECTION
NOT TO SCALE
WSDOT STD. PLAN I-40.20-00



ISOMETRIC VIEW
STABILIZED CONSTRUCTION ENTRANCE SHALL MEET THE REQUIREMENTS OF STANDARD SPECIFICATION SECTION 8-01.3(7).
AS REQUIRED ~ 100' (FT) MIN., EXCEPT MAY BE REDUCED TO 50' (FT) MIN. FOR SITES WITH LESS THAN ONE ACRE OF EXPOSED SOIL
PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION FROM THE EDGE OF THE EXISTING ROADWAY TO THE CONSTRUCTION ENTRANCE, OR AS DIRECTED BY THE ENGINEER

2 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE
WSDOT STD. PLAN I-80.10-02



- NOTES**
1. Install the ends of the silt fence to point slightly upslope to prevent sediment from flowing around the ends of the fence
 2. Perform maintenance in accordance with Standard Specifications 8-01.3(9)(A) and 8-01.3(15).
 3. Splices shall never be placed in low spots or sump locations. If splices are located in low or sump areas, the fence may need to be reinstalled unless the Project Engineer approves the installation.
 4. Install silt fencing parallel to mapped contour lines.

SILT FENCE
STANDARD PLAN I-30.15-02
SHEET 1 OF 1 SHEET
APPROVED FOR PUBLICATION
Pasco Bakotich III 3/22/13
STATE DESIGN ENGINEER
Washington State Department of Transportation

STATE OF WASHINGTON REGISTERED LANDSCAPE ARCHITECT
SANDRA L. SALISBURY
CERTIFICATE NO. 000860

3 SILT FENCE
NOT TO SCALE
WSDOT STD. PLAN I-30.15-02

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By: Michael Stewart
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By: Mjst



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FIRST SUBMITTAL DATE: 01/13/2020
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C1.1

OF **5**

A PORTION OF SE 1/4 SEC. 15, TWP. 26 N., RGE. 5 E., W.M.

LEGEND

- 564 EXISTING CONTOURS
565 PROPOSED CONTOURS
CLEANOUT 1 C3.1
CATCH BASIN TYPE 1/TYP 1L 3 C3.1 4 C3.1
SD STORM DRAINAGE PIPING

SPOT ELEVATION NOTES:

- ALL SPOT ELEVATIONS SHOWN ARE TOP OF ASPHALT/CONCRETE SIDEWALK UNLESS OTHERWISE NOTED.
EG - EXISTING GRADE
FG - FINISHED GRADE
FL - FLOWLINE
ME - MATCH EXISTING ELEVATION

KING COUNTY GENERAL NOTES:

- 1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.
2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES (DDES) ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DDES PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.
3. APPROVAL OF THIS ROAD, GRADING, PARKING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.)
4. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DDES'S LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
5. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
6. GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
7. IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
8. FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF KCRS CHAPTER 8 ARE SUBMITTED TO THE DDES'S LAND USE INSPECTION SECTION THREE DAYS PRIOR TO CONSTRUCTION.
9. DATUM SHALL BE KCAS UNLESS OTHERWISE APPROVED BY DDES.
10. DEWATERING SYSTEM (UNDERDRAIN) CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION. ALL UNDERDRAIN SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.
11. ALL UTILITY TRENCHES AND ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY, STANDARD PROCTOR.
12. OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY DDES AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY KING COUNTY.

LOCATIONS OF EXISTING FEATURES ARE BASED ON SURVEY PROVIDED BY EASTSIDE CONSULTANTS, INC. DATED DECEMBER 2013. ADDITIONAL SURVEY OF DERBY CREEK AND BUFFERS PROVIDED BY PARAMETRIX. DATE OF SURVEY IS UNDETERMINED. CONTRACTOR TO CONFIRM EXISTING FEATURES, RIMS AND INVERT ELEVATIONS PRIOR TO STARTING WORK.

STORM SYSTEM DEVELOPMENT (ON-SITE AREAS ONLY)

Table with 2 columns: Area Type and Sq. Ft. Values: NEW IMPERVIOUS AREA 0 Sq. Ft., REPLACED IMPERVIOUS AREA 511 Sq. Ft., NEW SYNTHETIC TURF AREA 18,903 Sq. Ft.

EARTHWORK QUANTITIES

Table with 2 columns: Earthwork Type and Unit. Values: CUT CY, FILL CY, TOTAL EARTHWORK CY.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR FIELD GRADING AND UNDER DRAIN SYSTEM.

REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR EXISTING FIELD RESTORATION

CB TYPE 1 RIM=31.13 IE 8" SE=28.5 IE 8" NW=28.6

165' SAMMAMISH RIVER BUFFER

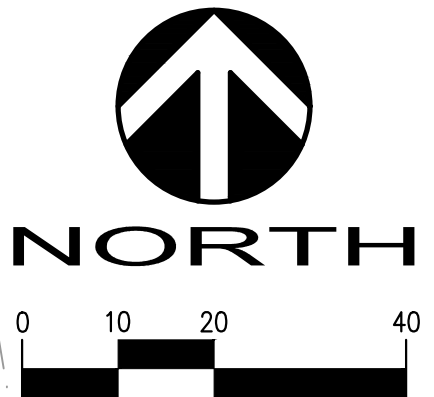
165' STREAM BUFFER FROM ORDINARY HIGH WATER MARK (OHWM)

CB TYPE 1 RIM=31.15 IE 6" S=29.5 IE 8" E=29.7 IE 8" W=29.0

CB #1, TYPE 1 (SHALLOW) 10+93.06, 0.00' RIM 31.96 IE 29.47 (8" IN-E) IE 29.47 (8" OUT-SW)

SDCO #1, CO 12+03.33, 0.00' RIM 32.24 IE 30.02 (8" OUT-W)

CB TYPE 1 RIM=32.00 IE 6" S=29.9 IE 6" SE=29.8 IE 6" N=29.7 IE 8" W=29.7



STORM DRAINAGE PLAN
SLA LANDSCAPE ARCHITECTS
NORTHSHORE ATHLETIC FIELDS
KING COUNTY WA

REVISIONS table with columns: NO., DATE, BY, REVISION. Shows a series of empty revision slots.

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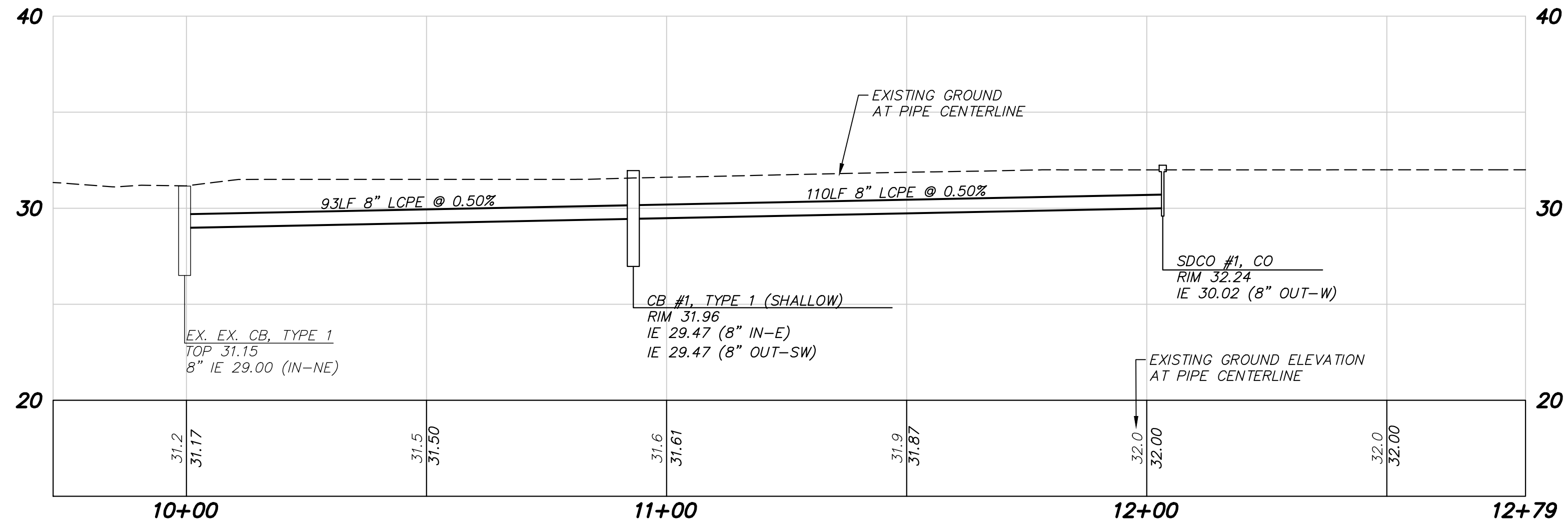
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PROJECT NO. SLAL0000004

SHEET NO. C2.0 OF 5

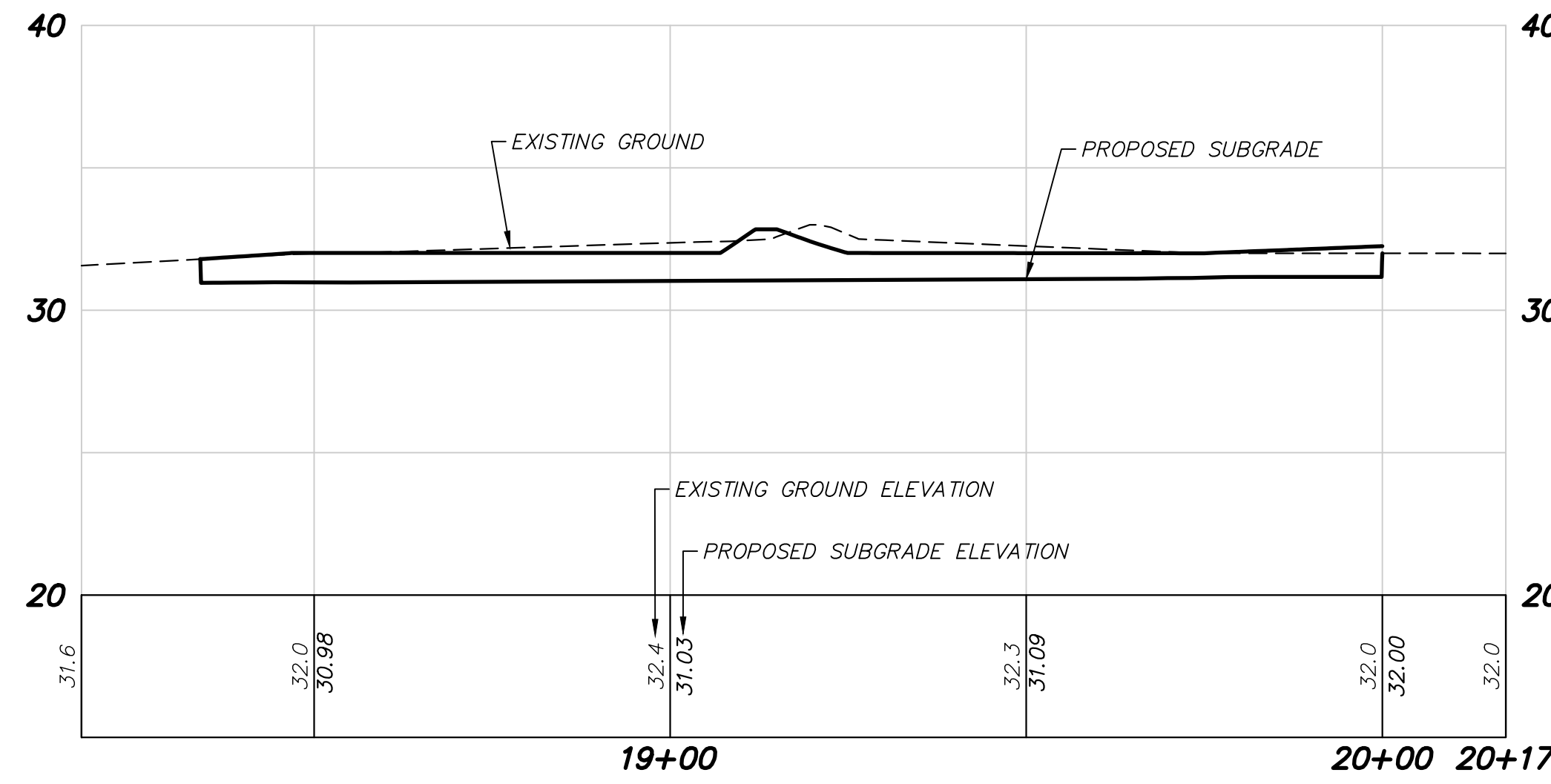


KING COUNTY DRAINAGE NOTES:

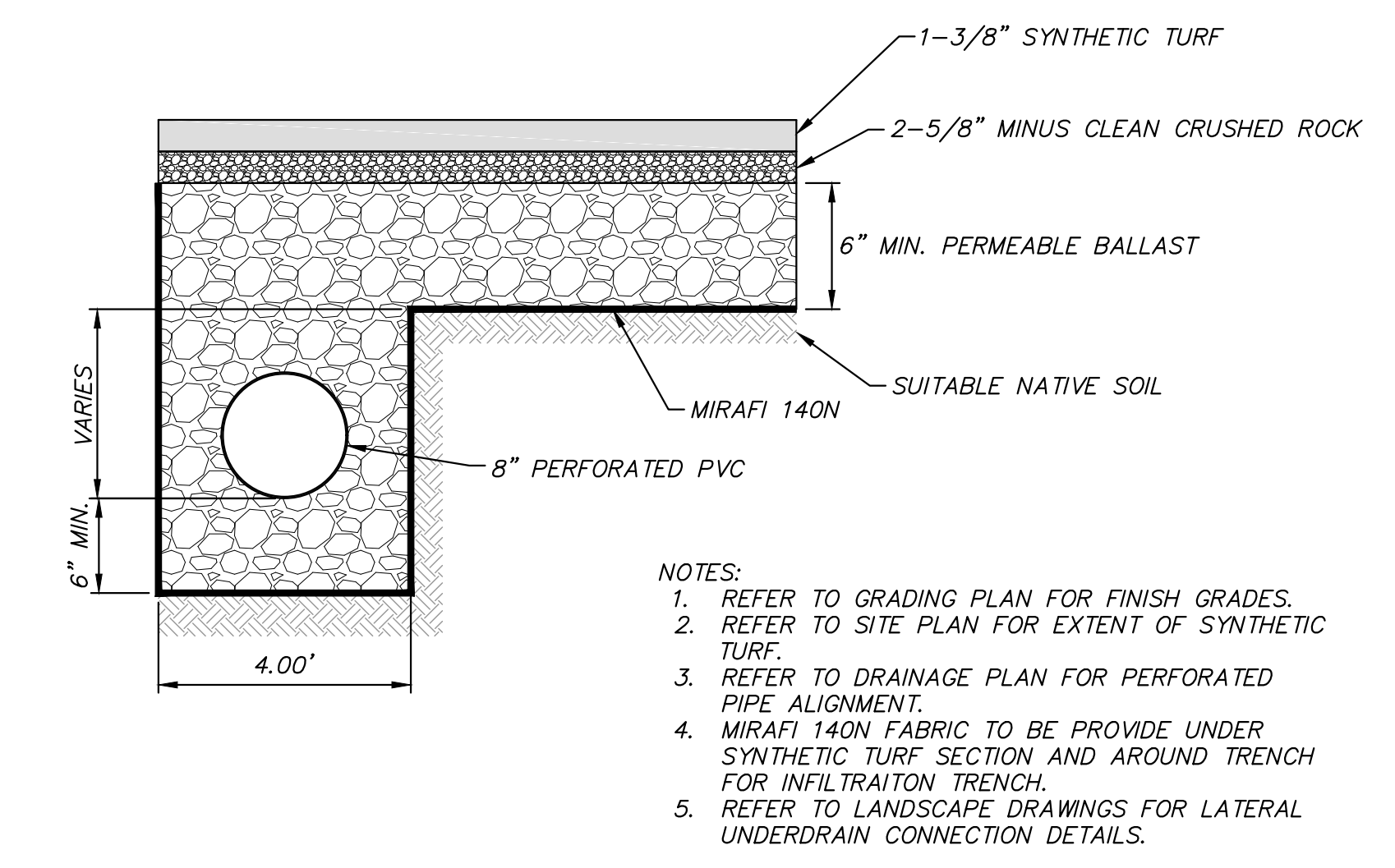
- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO DDES PRIOR TO THE CONSTRUCTION OF THE DRAINAGE FACILITIES, PREFERABLY AT THE PRECONSTRUCTION MEETING.
- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT SPECIFICATIONS. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL, AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- STEEL PIPE SHALL BE ALUMINIZED, OR GALVANIZED WITH ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.
- ALL CATCH BASIN GRATES SHALL CONFORM TO KCRS, WHICH INCLUDES THE STAMPING "OUTFALL TO STREAM, DUMP NO POLLUTANTS" AND "PROPERTY OF KING COUNTY", EXCEPT THAT PRIVATE DRAINAGE SYSTEMS SHALL NOT HAVE THE WORDS "PROPERTY OF KING COUNTY".
- ALL DRIVEWAY CULVERTS LOCATED WITHIN KING COUNTY RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE KCRS.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1 FOOT, AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8"/40%-70% PASSING; 2"-4" ROCK/30%-40% PASSING; AND -2" ROCK/10%-20% PASSING. INSTALLATION SHALL BE IN ACCORDANCE WITH KCRS.
- DRAINAGE OUTLETS (STUB-OUTS) SHALL BE PROVIDED FOR EACH INDIVIDUAL LOT, EXCEPT FOR THOSE LOTS APPROVED FOR INFILTRATION BY KING COUNTY. STUB-OUTS SHALL CONFORM TO THE FOLLOWING:
 - EACH OUTLET SHALL BE SUITABLY LOCATED AT THE LOWEST ELEVATION ON THE LOT, SO AS TO SERVICE ALL FUTURE ROOF DOWNSPOUTS AND FOOTING DRAINS, DRIVEWAYS, YARD DRAINS, AND ANY OTHER SURFACE OR SUBSURFACE DRAINS NECESSARY TO RENDER THE LOTS SUITABLE FOR THEIR INTENDED USE. EACH OUTLET SHALL HAVE FREE-FLOWING, POSITIVE DRAINAGE TO AN APPROVED STORMWATER CONVEYANCE SYSTEM OR TO AN APPROVED OUTFALL LOCATION.
 - OUTLETS ON EACH LOT SHALL BE LOCATED WITH A FIVE-FOOT-HIGH, 2" X 4" STAKE MARKED "STORM" OR "DRAIN". THE STUB-OUT SHALL EXTEND ABOVE SURFACE LEVEL, BE VISIBLE, AND BE SECURED TO THE STAKE.
 - PIPE MATERIAL SHALL CONFORM TO UNDERDRAIN SPECIFICATIONS DESCRIBED IN KCRS AND, IF NON-METALLIC, THE PIPE SHALL CONTAIN WIRE OR OTHER ACCEPTABLE DETECTION.
 - DRAINAGE EASEMENTS ARE REQUIRED FOR DRAINAGE SYSTEMS DESIGNED TO CONVEY FLOWS THROUGH INDIVIDUAL LOTS.
 - THE APPLICANT/CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATIONS OF ALL STUB-OUT CONVEYANCE LINES WITH RESPECT TO THE UTILITIES (E.G. POWER, GAS, TELEPHONE, TELEVISION).
 - ALL INDIVIDUAL STUB-OUTS SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE LOT HOME OWNER.
 - ALL DISTURBED PERVIOUS AREAS (COMPACTED, GRADED, LANDSCAPED, ETC.) OF THE DEVELOPMENT SITE MUST DEMONSTRATE ONE OF THE FOLLOWING: THE EXISTING DUFF LAYER SHALL BE STAGED AND REDISTRIBUTED TO MAINTAIN THE MOISTURE CAPACITY OF THE SOIL, OR; AMENDED SOIL SHALL BE ADDED TO MAINTAIN THE MOISTURE CAPACITY.
 - SEASONAL CLEARING IS LIMITED BETWEEN OCTOBER 1 AND MARCH 30 INCLUSIVE, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
 - IMPROVEMENTS AND/OR BUILDINGS SHALL NOT BE INSTALLED UNTIL DRAINAGE FACILITIES ARE "IN OPERATION"; (KCC 9.04).



1 STORM DRAINAGE PROFILE
SCALE: 1"=20' HORIZ.; 1"=5' VERT.



2 INFIELD SECTION
SCALE: 1"=20' HORIZ.; 1"=5' VERT.

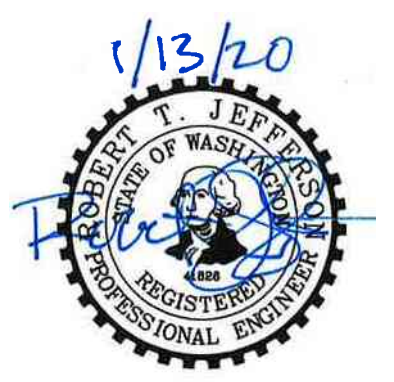


3 SYNTHETIC TURF SECTION
NOT TO SCALE

- NOTES:
- REFER TO GRADING PLAN FOR FINISH GRADES.
 - REFER TO SITE PLAN FOR EXTENT OF SYNTHETIC TURF.
 - REFER TO DRAINAGE PLAN FOR PERFORATED PIPE ALIGNMENT.
 - MIRAFI 140N FABRIC TO BE PROVIDE UNDER SYNTHETIC TURF SECTION AND AROUND TRENCH FOR INFILTRATION TRENCH.
 - REFER TO LANDSCAPE DRAWINGS FOR LATERAL UNDERDRAIN CONNECTION DETAILS.

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REVISION:	
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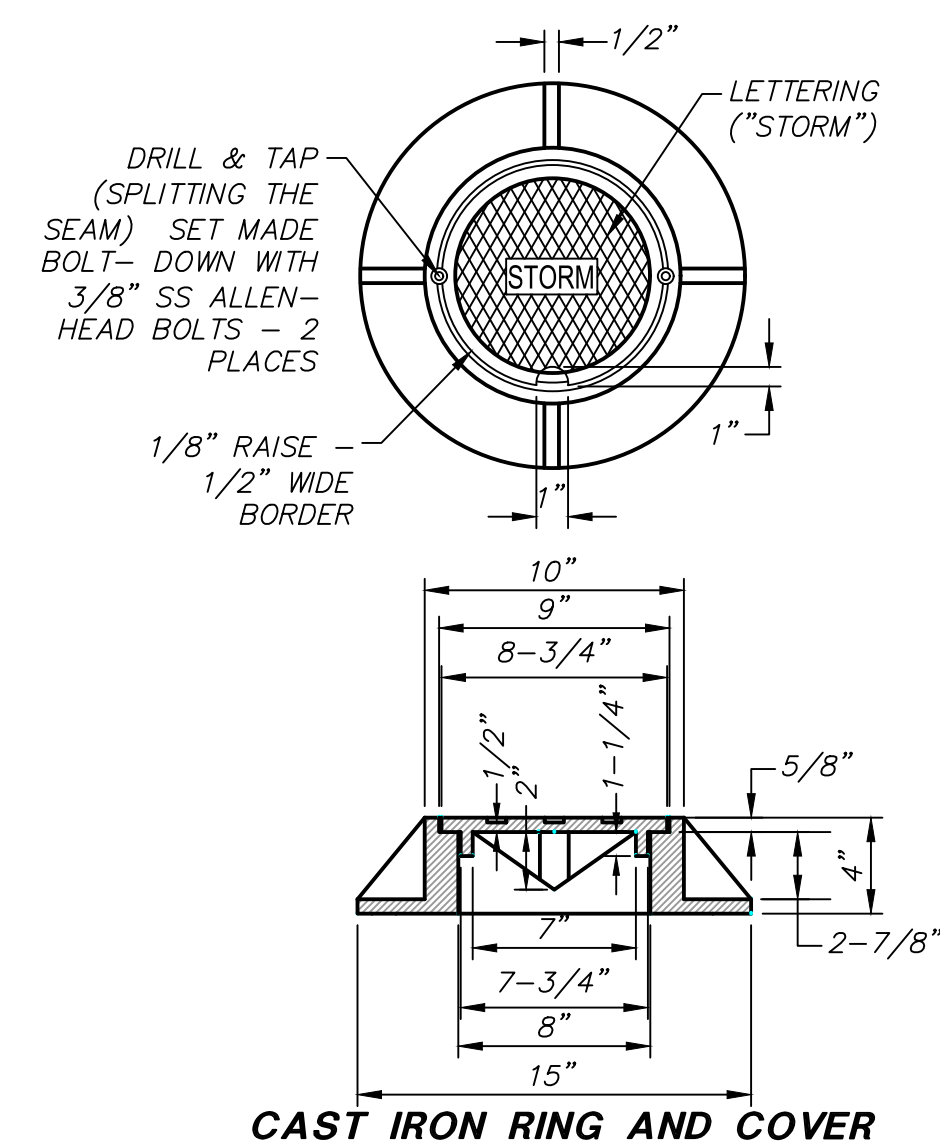
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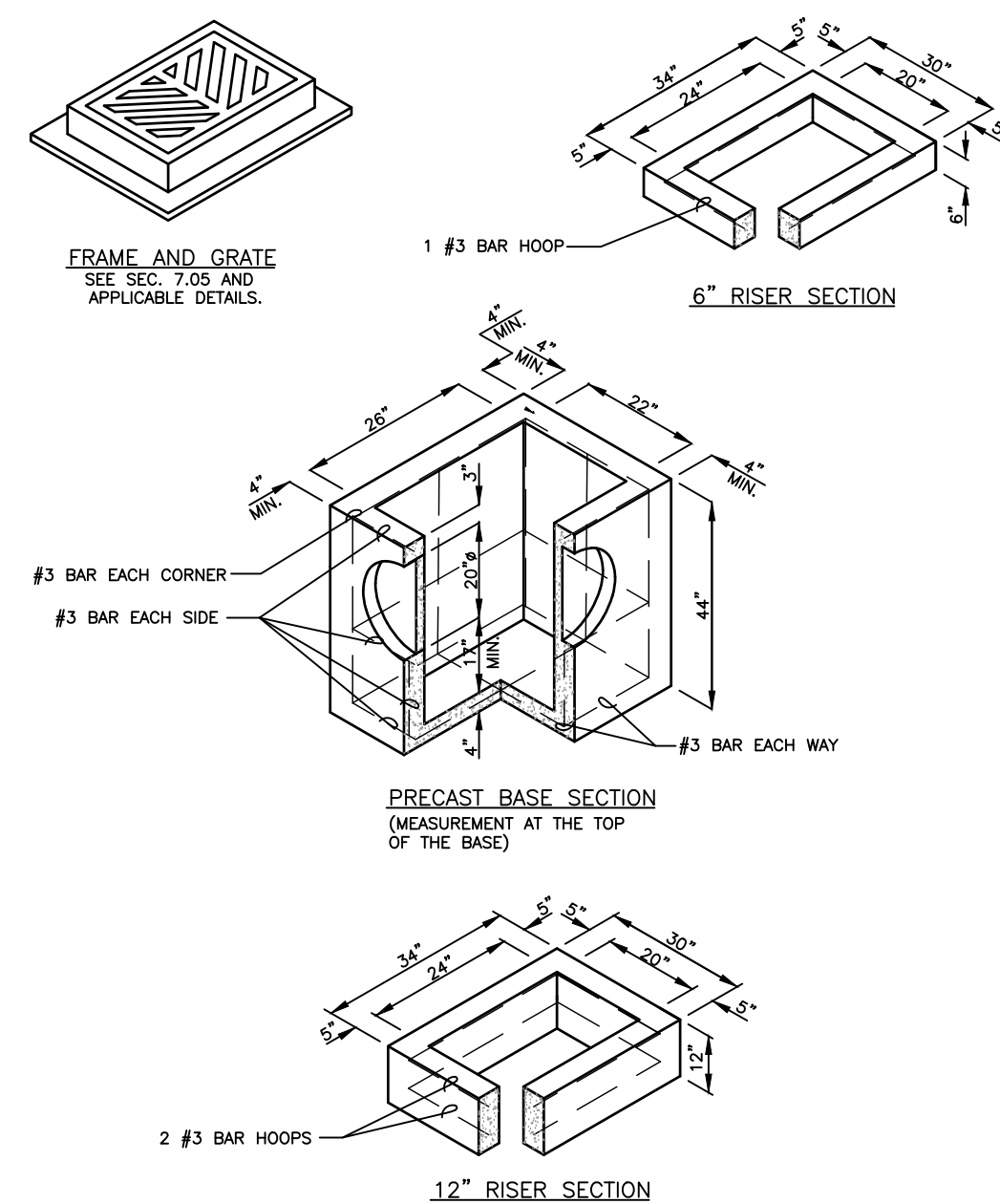
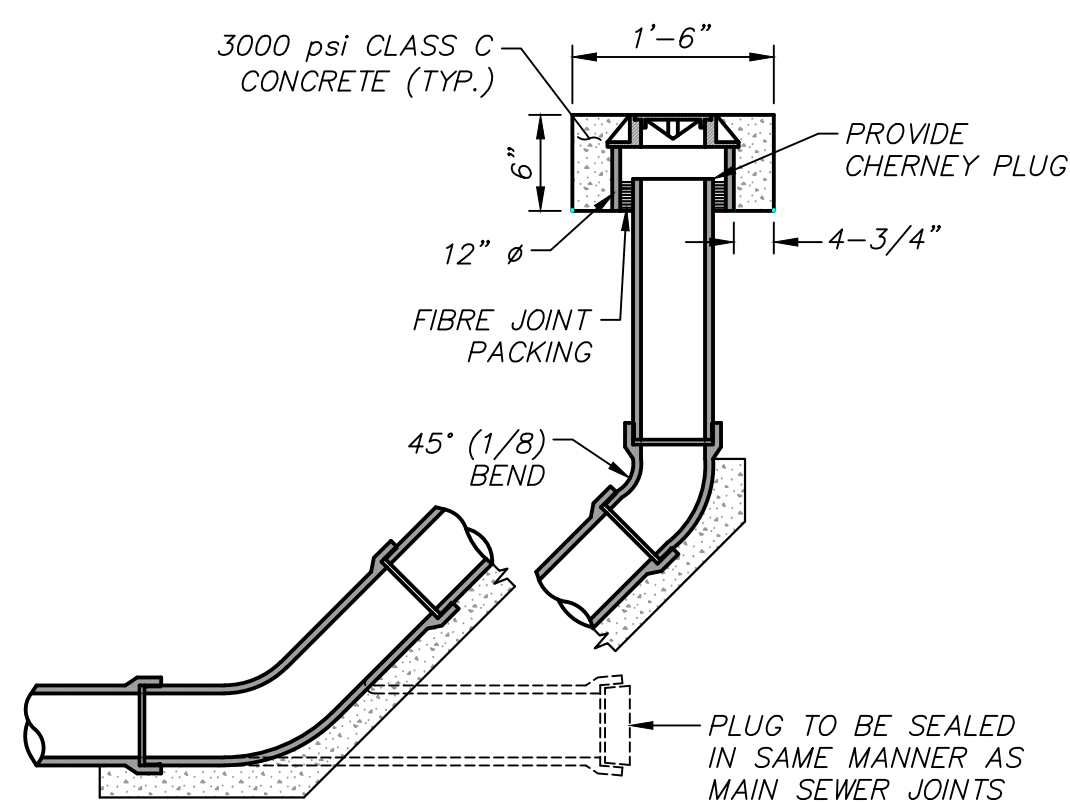
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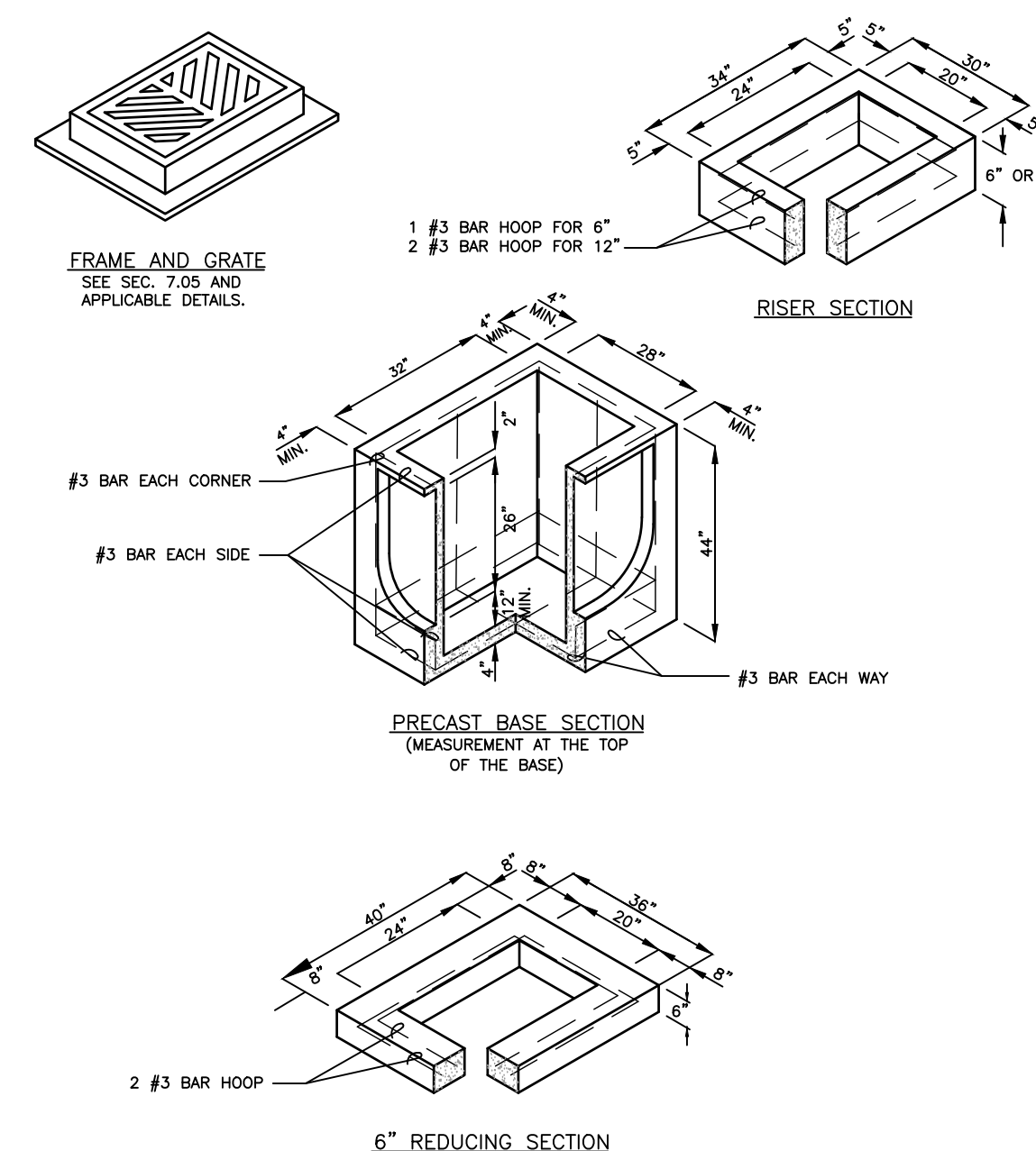
- NOTES:**
1. PIPE MATERIAL AS SPECIFIED BY THE ENGINEER.
 2. PIPE DIAMETER AS SHOWN PER PLAN.



- NOTES:**
1. CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
 2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
 3. ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
 4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
 5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
 6. ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20 IN. KNOCKOUTS MAY BE EITHER ROUND OR
 7. THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT.
 8. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
 9. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 10. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
 11. FOR CATCH BASINS IN PARKING LOTS REFER TO WSDOT/APWA STANDARD DWG. B-5.60-01.
 12. EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
 13. SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

Department of Transportation
 Road Services Division
 2016 Design and Construction Standards
 King County

CATCH BASIN TYPE 1 FIG. 7-003
 7-8

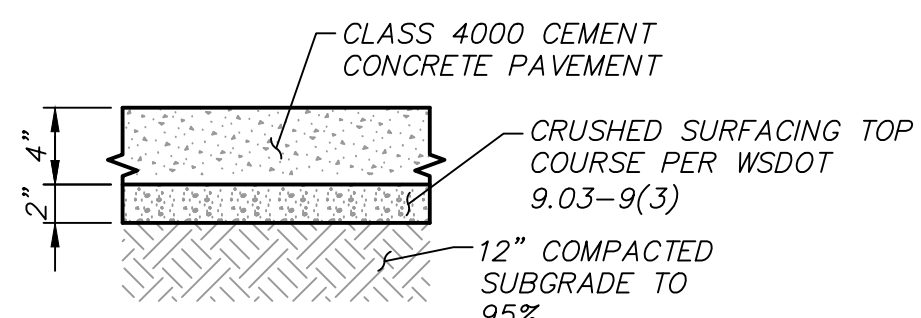


- NOTES:**
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 2. AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
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 4. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUDED IF WALL IS LEFT INTACT.
 5. KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
 6. KNOCKOUTS MAY BE ON ALL 4 SIDES WITH MAX. DIAM. OF 28 IN. KNOCKOUTS MAY BE EITHER ROUND OR 1/2" SHAPE.
 7. THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
 8. CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62E. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
 9. FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
 10. MAX. DEPTH FROM FINISHED GRADE TO PIPE INVERT SHALL BE 5 FT.
 11. EDGE OF REDUCING SECTION OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
 12. SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

Department of Transportation
 Road Services Division
 2016 Design and Construction Standards
 King County

CATCH BASIN TYPE 1-L FIG. 7-004
 7-9

1 CLEANOUT
 NOT TO SCALE



- NOTES:**
1. DEPTHS ARE COMPACTED THICKNESS.
 2. DUMMY JOINTS CONSISTING OF 3/16" BE 2" PREMOLDED JOINT MATERIAL SHALL BE PLACED AT MAXIMUM 18 FOOT INTERVALS.
 3. PROVIDE A TOOLED CONSTRUCTION JOINT AT MAXIMUM 6 FOOT INTERVAL.
 4. THE CONTRACTOR SHALL EXPOSE EXISTING FILL, PROOF ROLL AND COMPACT TO 95% IF YIELDING CONDITIONS ARE ENCOUNTERED, YIELDING MATERIALS SHALL BE REPLACED WITH IMPORTED STRUCTURAL FILL MATERIAL. THE DEPTH OF MATERIAL REPLACEMENT SHALL BE DETERMINED BY THE GEOTECHNICAL ENGINEER.

2 CEMENT CONCRETE SECTION
 NOT TO SCALE

3 CATCH BASIN - TYPE 1
 NOT TO SCALE

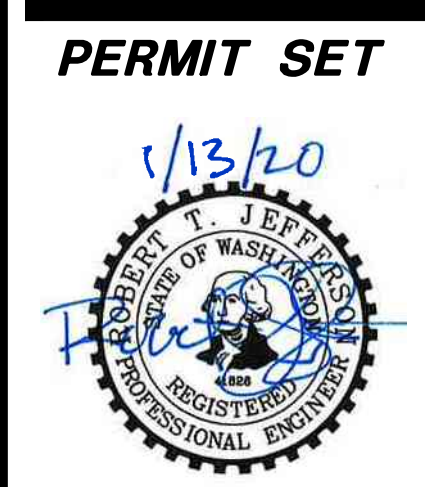
KING COUNTY STD. PLAN 7-003

4 CATCH BASIN - TYPE 1L
 NOT TO SCALE

KING COUNTY STD. PLAN 7-004

NOTES AND DETAILS
SLA LANDSCAPE ARCHITECTS
NORTHSHORE ATHLETIC FIELDS
 KING COUNTY WA

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 OF 5

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 By: Michael Stewart
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NORTHSHORE ATHLETIC FIELD PLAYGROUND

14735 NE 145TH ST
WOODINVILLE, WA 98072

PREPARED FOR:

NORTHSHORE ATHLETIC FIELDS NON-PROFIT
14735 NE 145TH ST
WOODINVILLE, WA 98072

LANDSCAPE ARCHITECT

SANDERSON STEWART
ATTN: ERIK SWEET
1300 N TRANSTECH WAY
BILLINGS MT 59102



Sheet Number	Sheet Title
--	COVER
L1.0	OVERALL PLAN
L1.1	LANDSCAPE PLAN
L2.1	DETAILS
L2.2	DETAILS 2

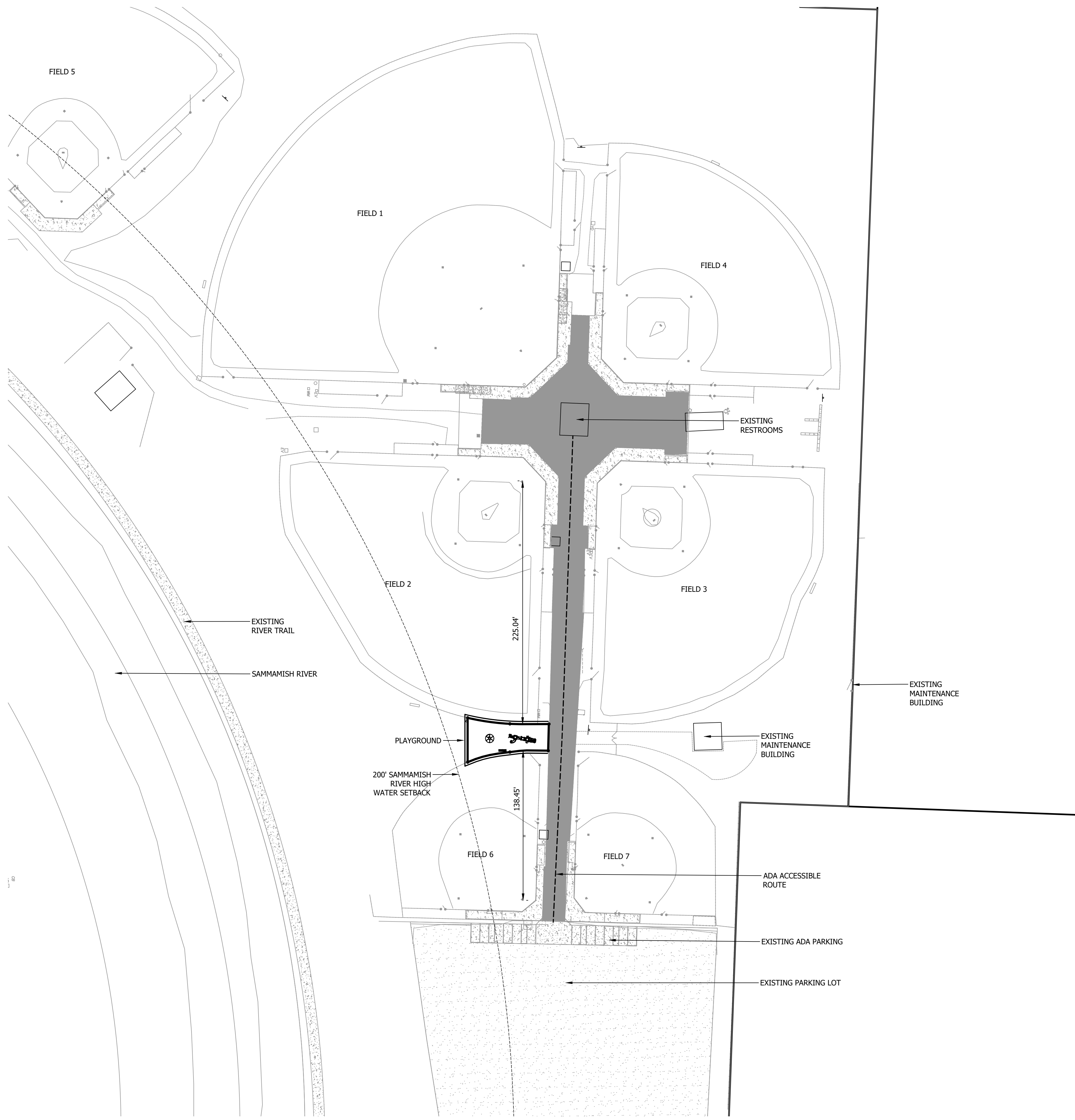


VICINITY MAP





NOT TO SCALE



Enduring Community Design



LEGEND

-  ASPHALT
-  CONCRETE
-  GRAVEL
-  ADA ACCESSIBLE ROUTE

OVERALL SITE PLAN

SCALE: 1" = 50'



PRELIMINARY - FOR REVIEW

DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	2025_N SHORE SITE_PROD.DWG		
PROJECT NO.:	2025	JMC	ES
CAD:			
QUALITY ASSURANCE:			

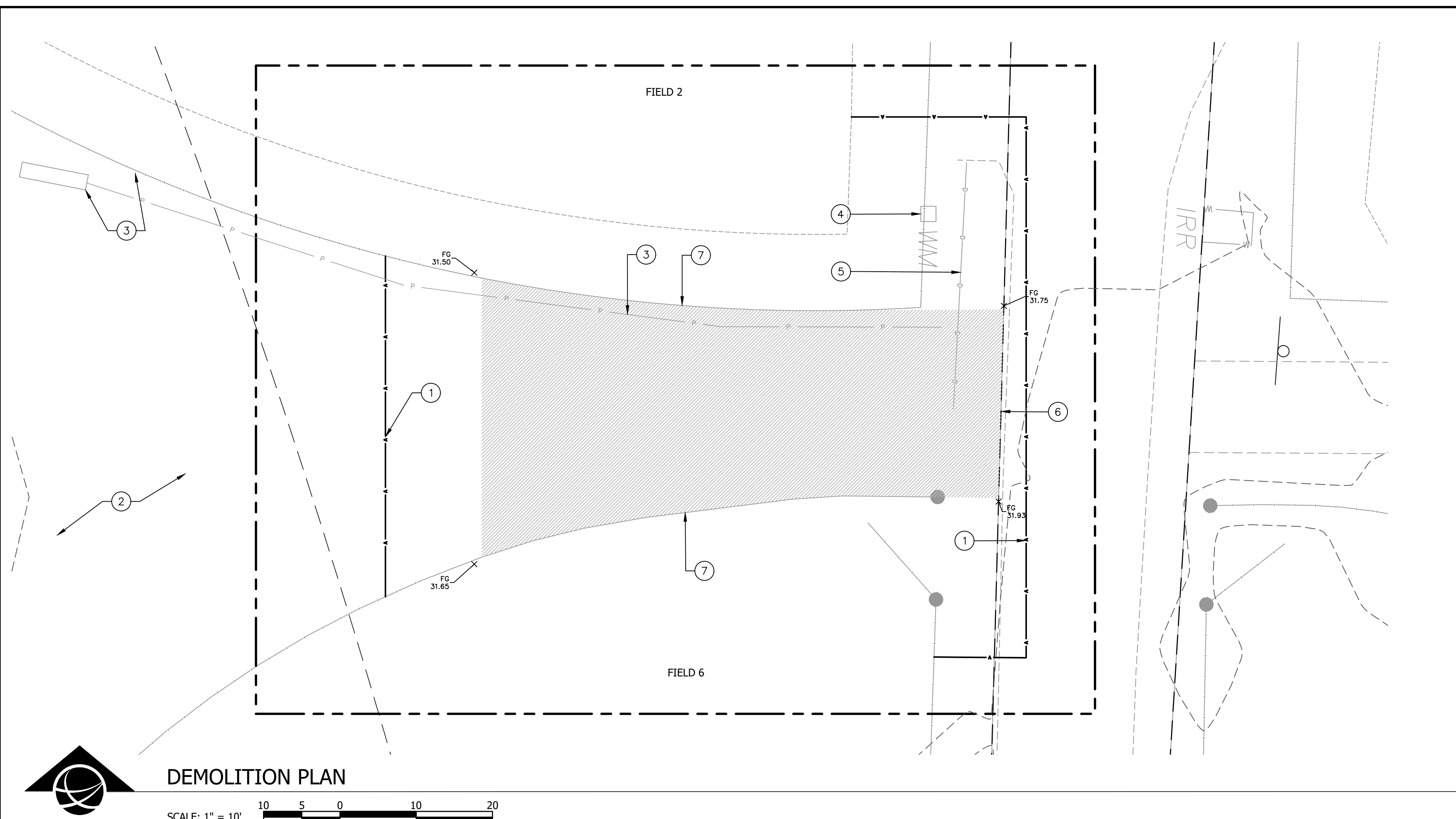


NORTHSHORE ATHLETIC FIELD PLAYGROUND
 14735 NE 145TH ST
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 OVERALL SITE PLAN



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DEMOLITION LEGEND

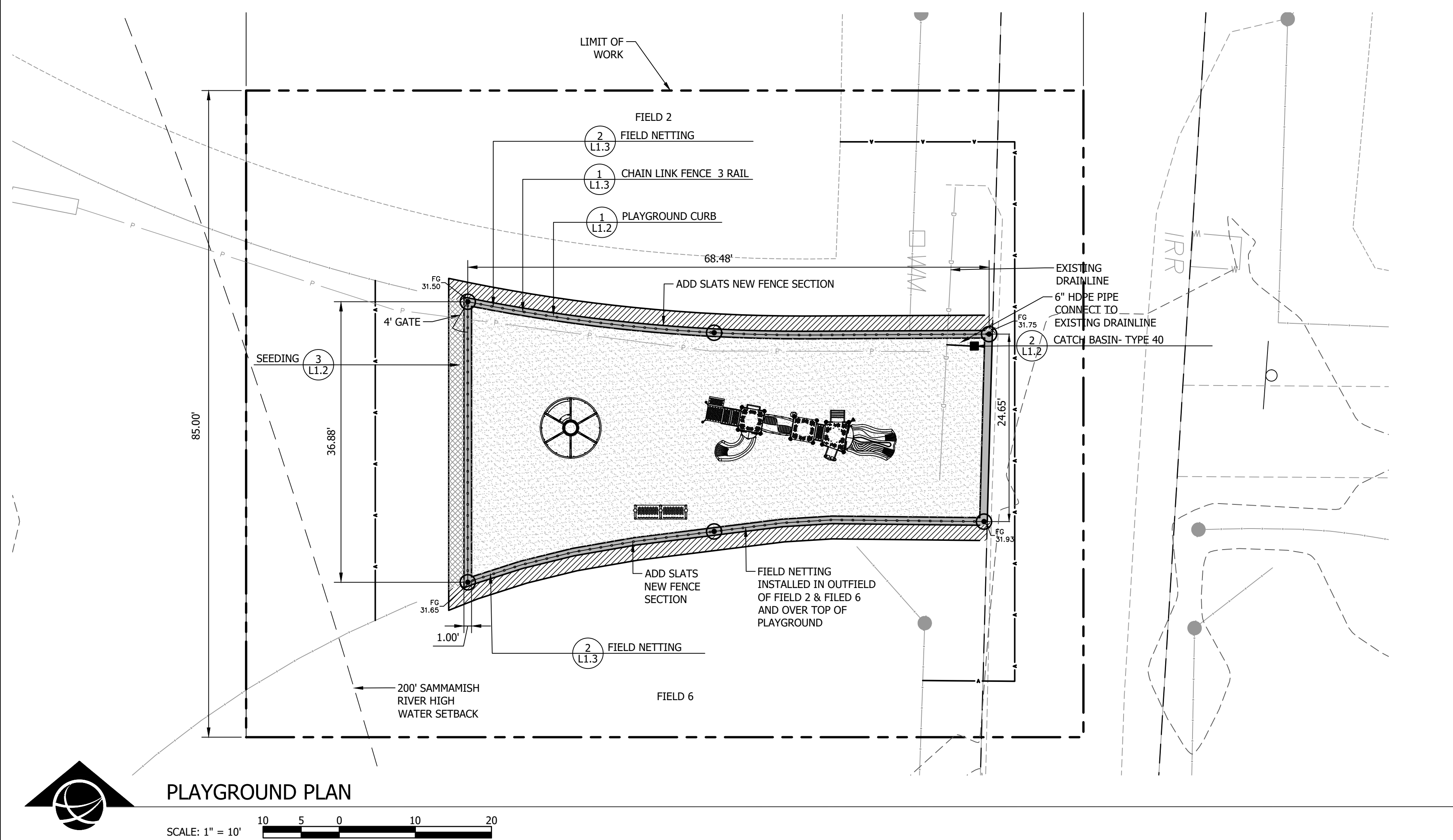
- STRIP AND REMOVE SOD 4" DEPTH
- LIMIT OF WORK

DEMOLITION KEY NOTES

- 1 ORANGE CONSTRUCTION FENCE
- 2 PROTECT EXISTING SEPTIC DRAINFIELD
- 3 PROTECT EXISTING SCOREBOARD ELECTRICAL WIRE
- 4 COORDINATE AND PROTECT IRRIGATION LINES
- 5 PROTECT EXISTING DRAINLINE
- 6 SAWCUT ASPHALT TO A CLEAN LINE

DEMOLITION NOTES

1. ALL ITEMS INDICATED FOR REMOVAL AND EXCESS ITEMS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF SITE, LEGALLY AS PER SPECIFICATIONS. ITEMS TO BE REMOVED ARE INDICATED ON THE DRAWINGS BUT MAY ALSO INCLUDE: TRASH, RUBBISH, STONES OVER 6" DIA., UNDERGROUND PIPING AND OTHER MISCELLANEOUS ITEMS PRESENT.
2. CLEAR AND GRUB AREAS DISTURBED BY NEW CONSTRUCTION. SITE PREPARATION WITHIN AREAS OF TREE PROTECTION FENCING SHALL BE DONE BY HAND.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING ROADWAYS, WALKS, CURB AND GUTTER, SIGNS, UTILITIES AND VEGETATION. DAMAGE TO EXISTING FEATURES CAUSED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. IF IRRIGATION ZONES MUST BE DEACTIVATED DURING CONSTRUCTION, MANUALLY WATER ALL AFFECTED LANDSCAPE AREAS TO MAINTAIN A HEALTHY AND VIGOROUS CONDITION.
5. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN AS INDICATED ON PLANS.
6. CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE OF LIMIT OF WORK.
7. CONTRACTOR SHALL GRIND ALL EXISTING TREE STUMPS TO 18" BELOW GRADE.
8. CONTRACTOR SHALL STRIP AREAS TO BE DISTURBED OF TOPSOIL (APPROX. 6") AND STOCKPILE ON SITE, IN LOCATION APPROVED BY OWNER'S REPRESENTATIVE. ALL STOCKPILES TO REMAIN WEED FREE. RE-SPREAD TOPSOIL IN AREAS TO BE SEEDED.



PLAYGROUND LEGEND

- PLAYGROUND SURFACING
- RESTORATION WARNING TRACK
- RESTORATION SEEDING
- NEW CONCRETE WITH INTEGRAL FENCE
- NEW FENCE
- RIVER BUFFER
- LIMIT OF WORK
- 4" PERFORATED ADS DRAINLINE

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, APPLICABLE LICENSES, STANDARDS, PERMITS, ETC. WHICH ARE NECESSARY TO PERFORM THE WORK.
2. THE CONTRACTOR SHALL LOCATE, CLEARLY MARK AND MAINTAIN EXISTING UTILITIES ON THE SITE PRIOR TO WORK START UP. CALL FOR UTILITY LOCATES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND REPAIR OF UTILITIES IF DAMAGED. REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. LIMIT OF WORK IS AS INDICATED ON THE PLANS.
6. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH LANDSCAPE ARCHITECT AND OWNER.

LAYOUT NOTES

1. ALL SITE IMPROVEMENTS SHALL BE FIELD SURVEYED AND STAKED BY CONTRACTOR. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF STAKED LOCATIONS OF IMPROVEMENTS PRIOR TO INSTALLATION START-UP.
2. RECEIVE OWNER'S REPRESENTATIVE APPROVAL OF FINAL STAKING BY CONTRACTOR OF ALL CONCRETE FLATWORK PRIOR TO CONSTRUCTION AND ALL FORM WORK PRIOR TO POURING.
3. ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. PRIOR TO EXCAVATION, UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED.
5. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCY BETWEEN WRITTEN COORDINATE POINTS/ELEVATIONS AND DIGITAL INFORMATION.
6. ALL CONTROL JOINTS SHALL BE SAWCUT AND SPACED AS INDICATED ON THE DRAWINGS AND DETAILS. EXPANSION JOINTS SHALL BE PLACED AS INDICATED ON THE DRAWINGS OR EVERY 80'.
7. ALL PLAYGROUND FENCING SHALL MEET ASTM F2049 STANDARDS. ADD SLATS TO FENCING WHERE OUTFIELD FENCE AND PLAYGROUND FENCE MEET.
8. PLAYGROUND MUST COMPLY WITH ASTM 1487.

PRELIMINARY - FOR REVIEW



DRAWING HISTORY	DATE	DESCRIPTION
	05/27/2020	SUBMITTAL
	07/07/2020	RESUB
	07/27/2020	RESUB

FILE:	20025_N SHORE PLAYGROUND_PROD.DWG		
PROJECT NO.:	20025	JMC	ES
CAD:			
QUALITY ASSURANCE:			



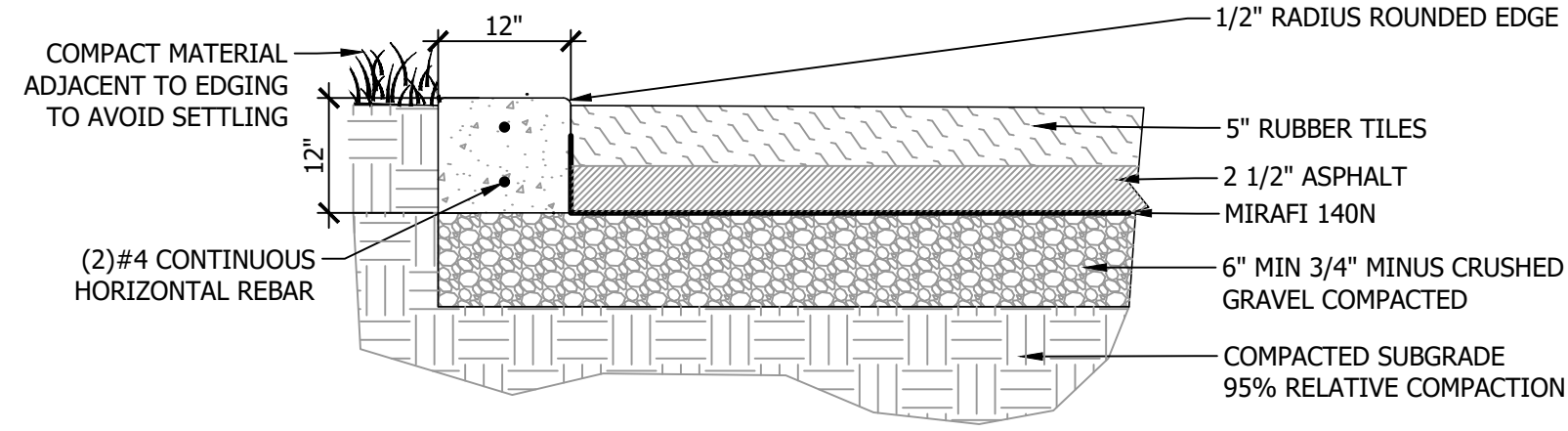
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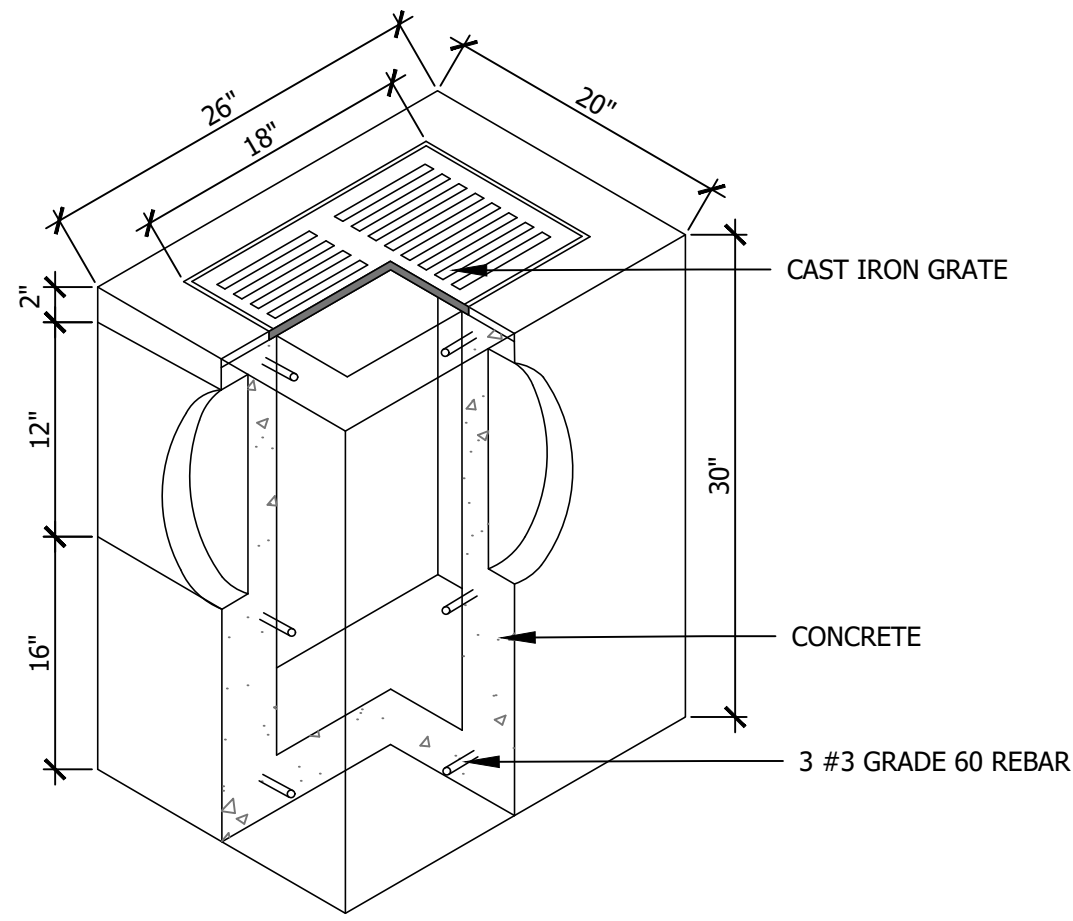
DRAWING HISTORY	
DATE	DESCRIPTION
05/27/2020	SUBMITTAL
07/07/2020	RESUB
07/27/2020	RESUB

FILE:	2025_N SHORE PLAYGROUND_DETAILS.DWG
PROJECT NO.:	2025
CAD:	JMC
QUALITY ASSURANCE:	EIS

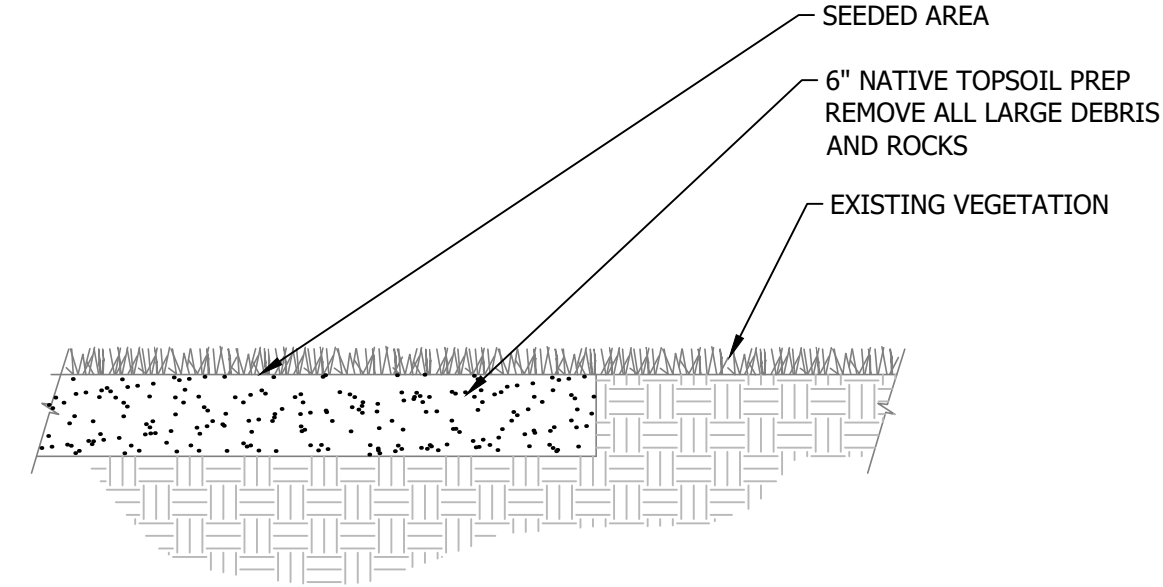


NOTES:
1. PROVIDE SUBMITTAL FOR WOOD MULCH

1 PLAYGROUND CURB
N.T.S.

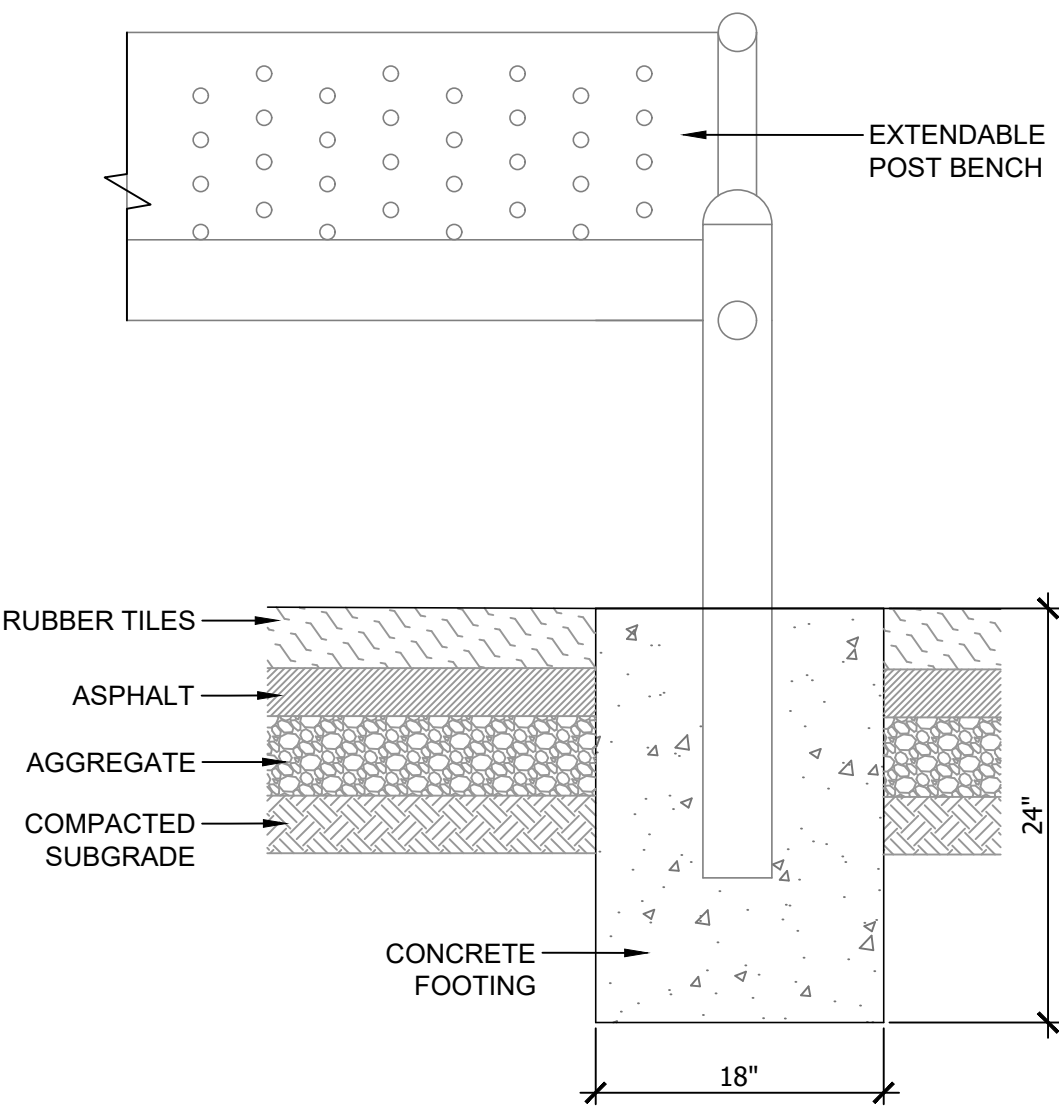


2 CATCH BASIN- TYPE 40
N.T.S.



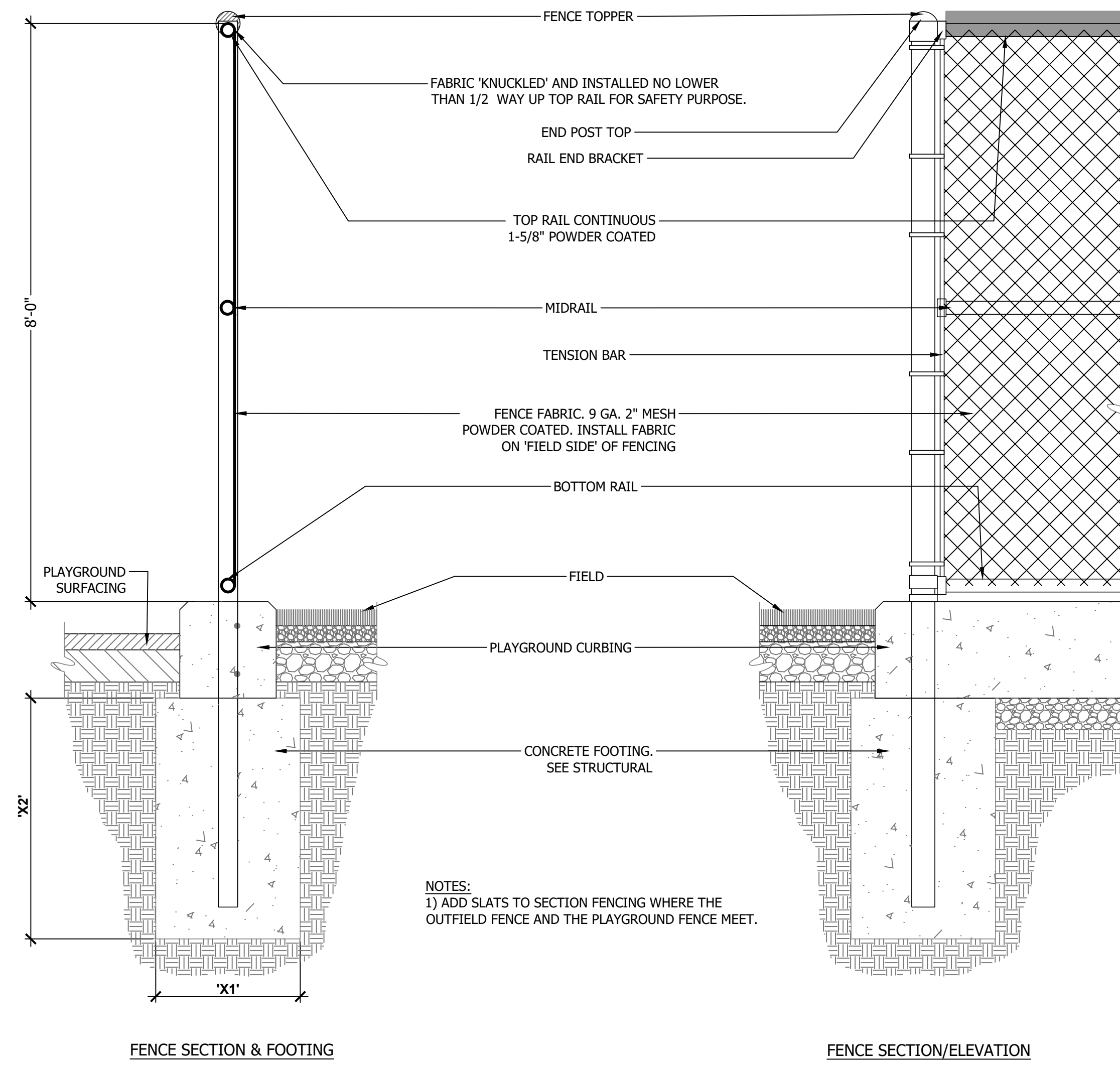
NOTE:
1. SCARIFY SUBGRADE 6", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
2. TOP SOIL SHALL BE 4" TOP SOIL AND 2" GOLF COURSE SAND TILLED TOGETHER.

3 SEEDING
N.T.S.

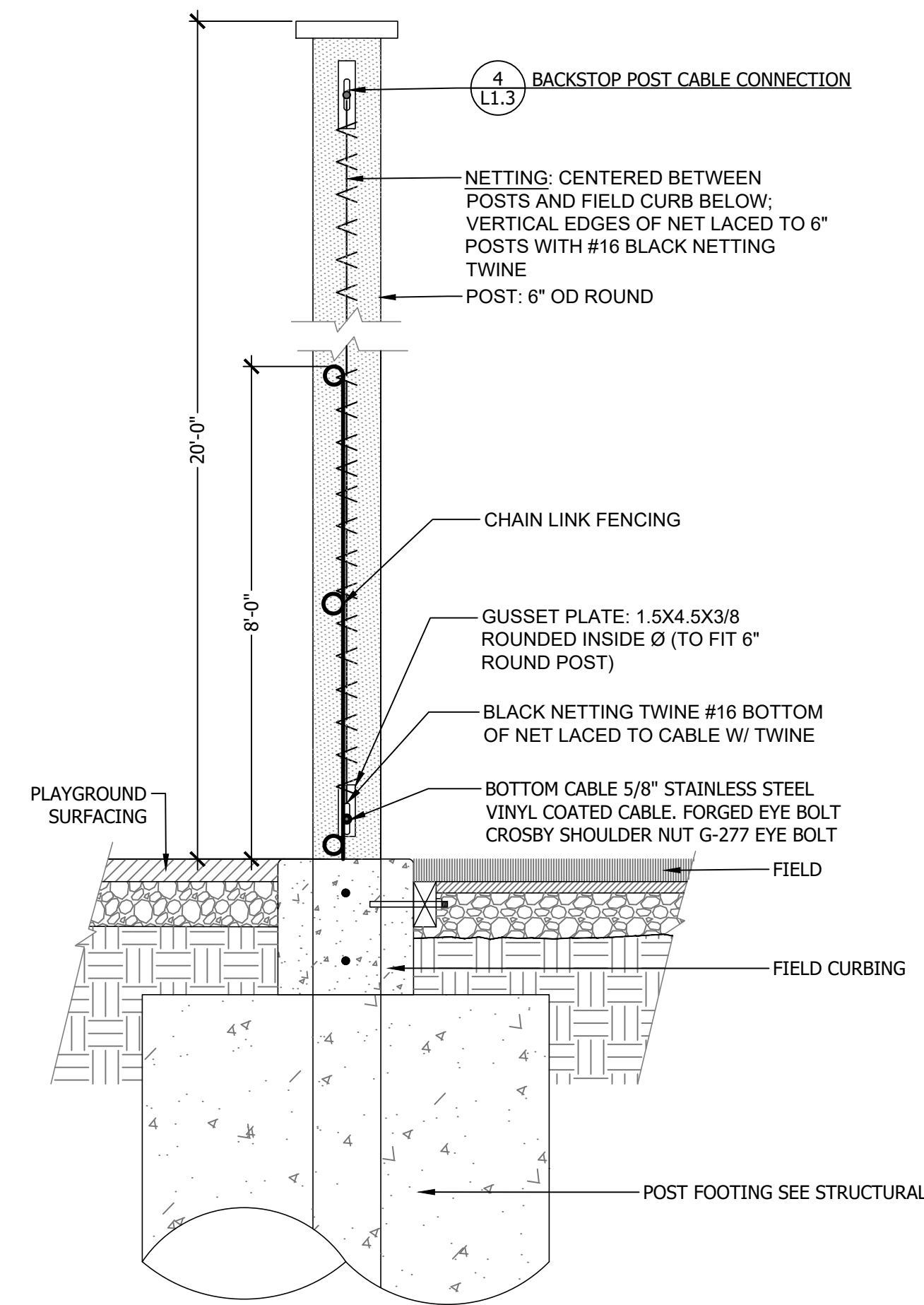


4 BENCH FOOTING
N.T.S.

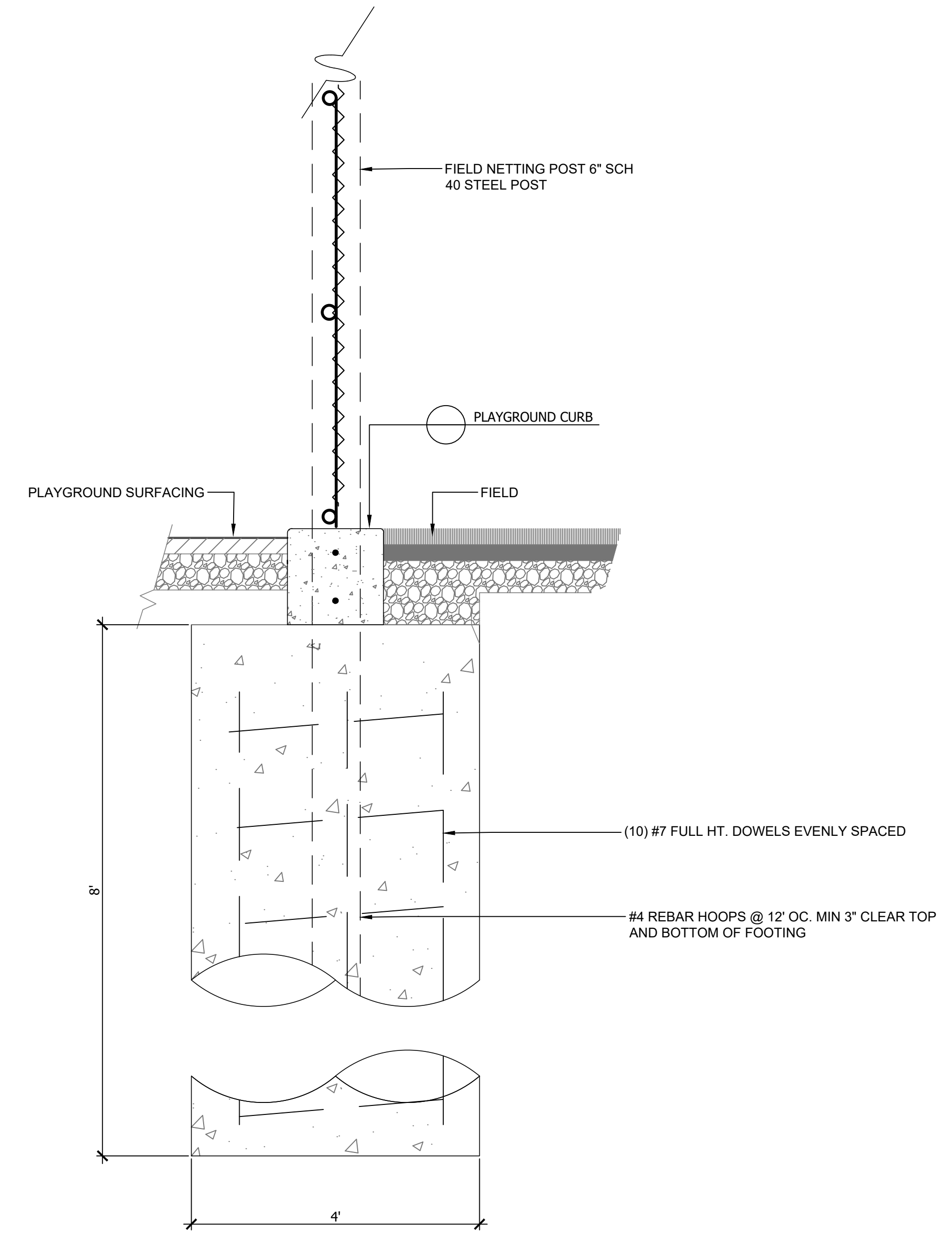
DETAILS



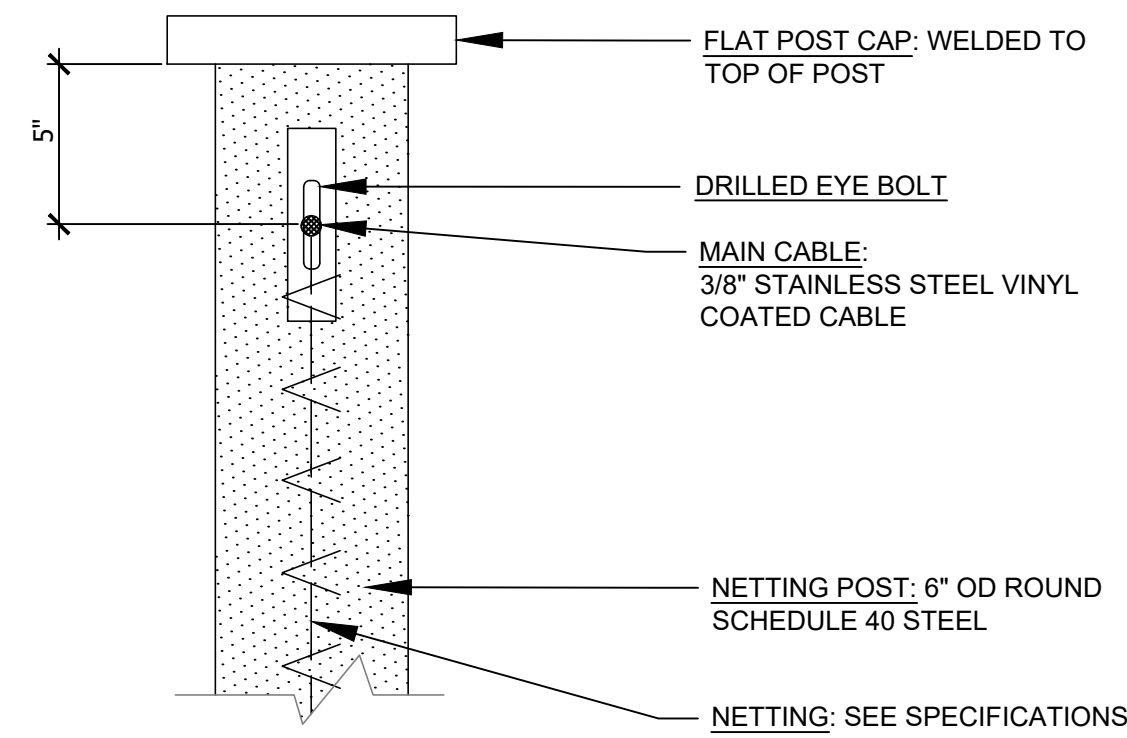
1 CHAIN LINK FENCE 3 RAIL
N.T.S.



2 20' TALL FIELD NETTING
N.T.S.



3 NET POST FOOTING
N.T.S.



4 NETTING POST CABLE CONNECTION
N.T.S.

PRELIMINARY - FOR REVIEW



DATE	DESCRIPTION
06/27/2020	SUBMITTAL
07/07/2020	RESUB
07/17/2020	RESUB

FILE:	2002_N_SHORE PLAYGROUND_DETAILS.DWG
PROJECT NO.:	20025
CAD:	JMC
QUALITY ASSURANCE:	ES

NORTHSHORE ATHLETIC FIELD PLAYGROUND

14735 NE 145TH ST
WOODINVILLE, WA 98072
DETAILS 2